# Orting Veteran's Village

# Request for Solar Quote (RFQ)


**Issued by Olympia Community Solar**


Mason Rolph
Olympia Community Solar
112 4th Ave E, STE 208
Olympia WA, 98501
(360) 481-4020
mason@olysol.org

Dave Redman
Program Supervisor - Orting Village
Quixote Communities
Work: (360) 872-0079
dave@quixotecommunities.org

# REQUEST FOR QUOTE
# FOR INSTALLATION OF A SOLAR PROJECT


**Summary**

Quixote Communities, with the support of Olympia Community Solar, is seeking a quote from a qualified firm to install a solar energy installation in early 2024. Olympia Community Solar is supporting the organization to develop the solar project on the non-profit owned and low income occupied tiny home village.

We're requesting proposals include a clear plan for both the community building and tiny home installations.


**SITE VISIT**

Project partners will host a site visit on March 10th at 10am.

**SITE ADDRESS**

19607 162nd Ave E, Orting WA 98360

**PROPOSAL SUBMITTAL**

Please submit a proposal in PDF form to the points of contact by 5:00pm on March 31st.

**BASIC REQUIREMENTS FOR PROPOSING FIRMS**

- Must be registered, or indicate that they will register, with the appropriate Business License divisions in the project's County and be in good standing to be considered for this project.
- Must be a general contractor and must hold an active Contractor Registration with Washington State Department of Labor and Industries.
- Must prove and maintain Workers' Compensation and Employer's Liability insurance.

| | |
|---|---|
| Site Visits | March 10th at 10am |
| Proposals Due | March 31st by 5:00 PM |
| Firm Selected | Week of January 30th |
| Installation Work Start | Q1 2024 |

## PROPOSAL FORMAT AND EVALUATION CRITERIA

Please create project proposals in 8½" x 11" document size using a minimum 12-point font size. Proposals shall not exceed 15 pages, including cover page, cover letter and any appendices and/ or attachments.

**I. Cover letter**

The cover letter shall discuss the highlights, key features and distinguishing points of the Proposal. The cover letter must be prepared and signed by a manager having the authority to make offers and enter into financial agreements on behalf of the firm.

**II. Proposing firm profile**

Detail the proposing firm's size and local organizational structure. Describe the demonstrated experience of the firm in designing and installing commercial solar electric systems. Please note any significant installations by the firm in Thurston County.

**III. Qualifications of the project team**

**A.** Identify key personnel for this project including roles, experience, licenses, and certificates (e.g., NABCEP), with corresponding numbers as appropriate. Key personnel should include at a minimum: Owners/Principals; Project Managers; Designers; Installers.

**B.** Identify any subcontractors the firm plans to use.

**IV. Business practices**

A. **Work practices**: Address the firm's health and safety record and practices. Identify any communications with the Washington State Department of Labor and Industries and state or federal human rights agencies regarding workplace issues in the last 3 years.

B. **Liability**: Provide information on the level of insurance the firm has and provide copies of certificates.

C. **Workmanship Warranties:** Describe your workmanship warranties.

D. **Wages and Labor Practices:** Provide information about labor practices, including your commitment to providing family wages, benefits, apprenticeships, or mentoring programs.

**V. Work quality**

**A.** Explain why the products included in the proposal are appropriate for this project.

**B.** Provide descriptions of warranties and support that ensure the long-term durability, operation, and maintenance of PV installations. Please describe any system monitoring capabilities or production gauges included. **Please attach the manufacturer's specification sheets and warranty information for each major piece of equipment.**

**C.** Include a solar production estimate. If the proposal includes modules on multiple different roof orientations, please factor each orientation into your production estimate.

## VI. Customer service

**A.** Describe how the firm plans to handle incident reports (trouble, warranty, service calls, and inquiries). Discuss the firm's typical response time on calls, hours of coverage for customer service calls, and process for providing status reports after an incident is logged.

**B.** List any complaints received by the Better Business Bureau or the Washington Attorney General's office over the last 3 years.

**C.** Describe the training the firm provides the host including materials or manuals, customer care books, and/or support for later questions and system performance.

## EXHIBIT A

# Orting Veteran's Village

**Project Goals:** Offset 100% of the village's annual energy costs, or fill available roof space. Rooftop or ground mount solar acceptable.

**Meter #1 - Community Building**

Average daily consumption March 2021- March 2022: 105.03 (38.3 MWh/yr)

Average daily consumption March 2022- March 2023: 146.63 (**53.5 MWh/yr**)

**Meter #2 - Cottages**

Average daily consumption December 2020 - December 2021: 459.3 (167.6 MWh/yr)

Average daily consumption December 2021 - December 2022: 504 (**183.9 MWh/yr**)

**Village Background**

Quixote Communities began in 2007, with the protestation of a city ordinance banning lying or sitting on sidewalks in downtown Olympia, WA, by Camp Quixote, a tent city. The tent city would be hosted by seven local churches in the next six years, but during this time, and with support from many, the idea of a group of tiny homes surrounding a shared community building took shape and flourished. It took a funding campaign, support from the City of Olympia and Thurston County, site searching and acquisition, city code modifications, and multiple open community forums, but on December 24, 2013, 30 Camp Quixote residents left their tents behind and moved into Quixote Village. Since that time, we've seen residents rehabilitate their lives, rid themselves of chemical addictions, find permanent employment, and move into their own apartments.

**Orting Village**, the second tiny house village, is always full and in high demand. The Orting Veterans Village is a permanent supportive tiny house village for 35 homeless veteran heroes.

Quixote Communities teamed up with the Washington State Department of Veterans Affairs and the Puget Sound Veterans Hope Center to create a Tiny Home Village for homeless veterans in Orting, Washington. The WDVA leased Quixote Communities 5+ acres at the Washington Soldiers Home in Orting. We broke ground in January 2020 and opened our doors in May of 2021. Because of the Covid 19 pandemic, we had a phased in move in with a total of 35 homeless veterans calling the village their home. During the first twelve months of the village many of the cottages were unoccupied. The most accurate consumption information was collected in the last year.

**Funding Opportunity**

Project partners have identified the WSU Low-Income Community Solar program as an opportunity to fund this project.

# VETERAN'S VILLAGE

## 1301 ORTING KAPOWSIN HWY EAST
## ORTING, WA 98360
## *MSGS Project No. 17-100*

## PROJECT TEAM


**OWNER**
**PANZA**
P.O. Box 2274
Olympia, WA 98507
607 Central St NE
Olympia, WA 985064405
P: 310.740.3101
Sean McGrady, Executive Director
symcgrady@gmail.com

**CIVIL ENGINEER**
**JMJ TEAM**
P.O. BOX 2066
Sumner, WA 98390
P: 206.596.2020
C: 253.381.1968
Justin Jones, PE
justin@jmjteam.com

**LANDSCAPE**
**LYON LANDSCAPE**
1015 Pacific Ave., Suite # 112
Tacoma, WA 98402
P: 253.209.4053
Eric Williams, ASLA
eric@lyonla.com

**ARCHITECT**
**MSGS ARCHITECTS**
510 Capitol Way South
Olympia, WA 98501
P: 360.943.6774 ext-112
Garner Miller, Principal-in-Charge
garnerm@msgsarch.com

**ELECTRICAL ENGINEER**
**BCE ENGINEERS**
6021 - 12Th Street East, Suite 200
Fife, WA 98424
P: 253.922.0446
Ben Hedin, PE
ben.hedin@bceengineers.com


## ARCHITECTURAL ABBREVIATIONS

| | | | | | |
|---|---|---|---|---|---|
| AB | ANCHOR BOLT | FA (A) | FIRE ALARM (ANUNCIATOR) | NIC | NOT IN CONTRACT |
| AFF | ABOVE FINISH FLOOR | FD | FLOOR DRAIN | NO. | NUMBER |
| ALUM | ALUMINUM | FE | FIRE EXTINGUISHER | NTS | NOT TO SCALE |
| | | FEC | FIRE EXTINGUISHER CABINET | | |
| B.O. | BOTTOM OF ___ | FH | FIRE HYDRANT | O.C. | ON CENTER |
| BLDG | BUILDING | F.O.I.C. | FURNISHED BY OWNER, INSTALLED BY CONTRACTOR | O.D. | OUTSIDE DIAMETER |
| | | | | OPH | OPPOSITE HAND |
| CPT | CARPET | F.O.I.O. | FURNISHED BY OWNER, INSTALLED BY OWNER | OPP | OPPOSITE |
| CLG | CEILING | | | | |
| CT | CERAMIC TILE | FOF | FACE OF FINISH | PB | PEN BOARD |
| CO | CLEAN OUT | FOS | FACE OF STUD | PL | PLATE |
| CLR | CLEAR(ANCE) | FTG | FOOTING | PLAM | PLASTIC LAMINATE |
| COL | COLUMN | | | PWD | PLYWOOD |
| CONC | CONCRETE | GA | GAUGE | | |
| CONT | CONTINUOUS | GALV. | GALVANIZED | R | RADIUS |
| CG | CORNER GUARD | GC | GENERAL CONTRACTOR | RB | RUBBER BASE |
| CJ | CONTROL JOINT | GL. | GLASS | RD | ROOF DRAIN |
| | | GLU-LAM | GLUED LAMINATE | RF | RESILIENT FLOORING |
| DBL | DOUBLE | G.W.B. | GYPSUM WALL BOARD | R.O. | ROUGH OPENING |
| DEMO | DEMOLISH | | | REQ'D | REQUIRED |
| DF | DRINKING FOUNTAIN | HDWR | HARDWARE | | |
| DIA. | DIAMETER | HDR | HEADER | S.F. | SQUARE FOOT |
| DO | DOWN | HVAC | HEATING, VENTILATION, AIR CONDITIONING | SIM | SIMILAR |
| DS | DOWNSPOUT | | | SUSP | SUSPENDED |
| DWG | DRAWING | HT | HEIGHT | | |
| | | HM | HOLLOW METAL | TB | TACK BOARD |
| EA | EACH | HORIZ. | HORIZONTAL | TBB | TELEPHONE BOARD) |
| ELECT | ELECTRICAL | HB | HOSE BIB | T&G | TONGUE AND GROOVE |
| EP | ELECTRICAL PANEL | | | T.O. | TOP OF |
| EWC | ELECTRICAL WATER COOLER | I.D. | INSIDE DIMENSION | TV | TELEVISION |
| | | INSUL | INSULATION | TYP | TYPICAL |
| ELEV | ELEVATION | | | | |
| EQ | EQUAL | MAX. | MAXIMUM | VB | VAPOR BARRIER |
| EQUIP | EQUIPMENT | MDO | MEDIUM DENSITY OVERLAY | VIF | VERIFY IN FIELD |
| EXIST | EXISTING | MFR | MANUFACTURER | VTR | VENT THRU ROOF |
| EJ | EXPANSION JOINT | MIN. | MINIMUM | | |
| EF | EXHAUST FAN | MISC | MISCELLANEOUS | WB | WHITE BOARD |
| EH | EXHAUST HOOD | MO | MASONRY OPENING | WH | WATER HEATER |
| | | | | W/ | WITH |
| | | | | W/O | WITHOUT |
| | | | | U.N.O. | UNLESS NOTED OTHERWISE |

## PROJECT DATA

CITY OF ORTING

PROPERTY ADDRESS:
1301 ORTING KAPOWSIN HWY EAST
ORTING, WA 98360

GENERAL SITE INFORMATION
ZONING: MUNICIPAL AREA
TOTAL ACRES: 6 Acre
PARCEL NO. 0518061000
LEGAL DESCRIPTION: Section 06 Township 18 Range 05 Quarter 14 : L 1 & SE OF NE SUBJ TO & INCL EASE

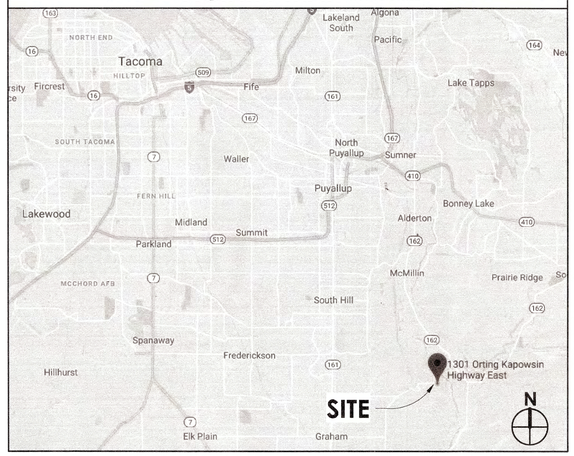
PROJECT DESCRIPTION:
New construction of a housing village. the project consists of 35 sleeping units and a community building housing a kitchen, dining and living area, restrooms, showers, laundry facilities, a meeting room and an office with support spaces. Buildings are modular constructions. Covered bicycle storage is provided, as well as a basketball court. 20 parking spaces are designated, including 2 ADA/ Van accessible spaces.

APPLICABLE CODES:
2015 International Existing Building Code
2015 International Building Code
2015 International Fire Code
2015 International Mechanical Code
2015 Uniform Plumbing Code
2015 National Electric Code
2015 Washington State Energy Code
International Code Council/ American National Standard ICC/ ANSI A117.1-2009
Washington State Barrier Free Regulations (WAC 51-50)
2015 Washington State Ventilation & Indoor Air Quality Code
State Water Conservation Standards (with Local Amendments)

DEFERRED SUBMITTALS:
Fire Sprinkler (Cottages)
The contractor shall submit a schedule for submitting deferred submittals prior to issuance of the building permit per IEBC 106.3.4.

Deferred submittals are to be submitted to the Architect for review prior to submitting to the building department per IEBC 103.3.4.

## VICINITY MAP NOT TO SCALE




## SHEET INDEX

| Sheet Number | Sheet Name |
|---|---|
| G0.01 | COVER SHEET |
| **CIVIL** | |
| C1-101 | COVER SHEET |
| C1-201 | EXISTING SITE PLAN |
| C2-101 | DEMOLITION AND EROSION CONTROL PLAN |
| C3-101 | SITE PLAN |
| C3-102 | SITE PLAN |
| C3-201 | PARKING PLAN |
| C3-301 | HARDSCAPE DETAILS |
| C3-302 | HARDSCAPE DETAILS |
| C3-303 | HARDSCAPE DETAILS |
| C3-401 | GRADING PLAN |
| C4-101 | COMPOSITE UTILITY PLAN |
| C5-101 | STORM & DRAINAGE PLAN |
| C5-102 | STORM PROFILES |
| C5-201 | STORM DETAILS |
| C6-101 | COMPOSITE SANITARY SEWER PLAN |
| C6-102 | SANITARY SEWER PROFILES |
| C6-103 | SANITARY SEWER PROFILES |
| C6-201 | SANITARY SEWER DETAILS |
| C7-101 | COMPOSITE WATER PLAN |
| C7-102 | WATER PROFILES |
| C7-201 | WATER DETAILS |
| C8-101 | POWER & COMMUNICATION PLAN |
| C9-101 | DEMOLITION AND EROSION CONTROL PLAN |
| C9-201 | SITE PLAN |
| C9-301 | HARDSCAPE DETAILS |
| **LANDSCAPE** | |
| L2.0 | LANDSCAPE PLANTING PLAN |
| **EXTERIOR DECK** | |
| A2.11 | PARTIAL FLOOR PLAN |

## SHEET INDEX

| Sheet Number | Sheet Name |
|---|---|
| A2.12 | DETAILS |
| A3.10 | EXTERIOR ELEVATIONS |
| **COMMUNITY BUILDING** | |
| CV-101 | COVER SHEET |
| FP-101 | FLOOR PLAN |
| EV-101 | FRONT AND REAR ELEVATIONS |
| EV-102 | LEFT AND RIGHT ELEVATIONS |
| MP-101 | MECHANICAL PLAN |
| WP-101 | WATER PLAN |
| S-101 | DWV PLAN |
| PP-101 | SECTION PLAN |
| EP-101 | ELECTRICAL PLAN |
| F-101 | FOUNDATION PLAN |
| **STANDARD COTTAGE** | |
| CV- 101 | COVER SHEET |
| FP- 101 | FLOOR PLAN |
| EV- 101 | ELEVATIONS |
| WP- 101 | WATER PLAN |
| PP- 101 | DWV PLAN |
| S- 101 | SECTION PLAN |
| EP- 101 | ELECTRICAL PLAN |
| F- 101 | FOUNDATION PLAN |
| **ADA COTTAGE** | |
| CV - 101 | COVER SHEET |
| FP - 101 | FLOOR PLAN |
| EV - 101 | ELEVATIONS |
| WP - 101 | WATER PLAN |
| PP - 101 | DWV PLAN |
| S - 101 | SECTIONS |
| EP - 101 | ELECTRICAL PLAN |
| F - 101 | FOUNDATION PLAN |

## CODE ANALYSIS

CITY OF ORTING
CODE COMPLIANCE

**IBC 2015 CODE REQUIREMENTS**

**Chapter 3 Use & Occupancy Classification**
304.1 Residential Group R-2

**Chapter 4 Special Detailed Requirements Based on Use and Occupancy**
420.2 Separation Walls.
All exterior walls are = or < than 10' separation.
Per Fire Marshal, all cottage units are sprinklered with NFPA-R system.

**Chapter 5 General Building Heights and Areas Limitations**
Table 504.3
Allowable building height: 40' allowed
Group R, type V-B Construction (Modular).

Table 504.4
Allowable no. of stories: 2 Stories allowed
Actual Building Height: 16'-8"
Actual No. of Stories: 1

Table 506.2
Allowable area per floor (R-2, NS): 7,000 SF
Allowable area:
Aa = At + (NSxIf)
Aa = 7,000 + (7,000x1)
Aa = 14,000

Actual Building Area:
(29) Cottages x 170 = 4,930 sqft
(6) ADA Cottage x 212 = 1,272 sqft
Community Hall = 2,138 sqft
Total = 8,340 sqft

**Chapter 6 Types of Construction**
Table 601, Type V-B (sprinklered)
Fire-resistance Rating Requirements for Building Elements (Hours)

Type of Construction V-B
Occupancy R-2
Fire resistance requirement 0 hr, all building elements

| | |
|---|---|
| Structural Frame | 0 hr |
| Bearing - Interior | 0 hr |
| Bearing - Exterior | 0 hr |
| Non-bearing - Interior | 0 hr |
| Floor Construction | 0 hr |
| Roof Construction | 0 hr |

**Chapter 7 Fire-Resistance-Rated Construction**
Table 705.8 Maximum Area of Exterior Wall Openings Separation
Distance:>30' No Limit

**Chapter 8 Interior Finishes**
Table 803.11 Interior Wall and Ceiling Finish Requirements:

| Occ Type | Exit Passageways/ | Corridors/Exit Access | Rooms |
|---|---|---|---|
| R NS | B | B | C |

Exit passageways B
Corridors/ Exit Access B
Rooms C

**Chapter 9 Fire Protection System**
903.3.1.2 NFPA 13A sprinkler systems
Sprinkler systems in the cottages are to be installed per NFPA 13R.

903.3.5.2 Residential combination services
Cottages are supplied with a combination service installed per NFPA 13R.

906 Portable fire extinguishers
Class A portable fire extinguishers are provided in each cottage, and in the community building hallway. Type K is provided in the kitchen.

907.2.9.1 Manual fire alarm system
No Manual fire alarm system is provided in the cottages.

907.2.9.3 Smoke Alarm
A carbon monoxide alarm is provided in each cottage in the main dwelling space.
Smoke alarms are provided in each cottage in the main dwelling space, and in the community building.

**Chapter 10 Means of Egress**
Table 1004.1.2 Max. floor area allowances per occupant
Accessory Storage Area,
Mechanical Equipment room 300 SF Gross
Assembly (Unconcentrated) 15 SF Net
Business 100 SF Gross
Industrial Area 100 SF Gross
Kitchen 200 SF Gross
See Floor Plan

1005.2 Minimum width
See Floor Plan

Table 1006.3.2 Space with one exit or exit access doorway
R-2 Occupancy Max. occupant load 49
Actual Occupant Load:
1 Occupant per cottages
(1) Exit Door provided each cottage
57 Occupants - Community Hall
(2) Exit doors provided.

1013.1 Exit Sign Where required
See Floor Plan

Table 1017.2 Exit Access Travel Distance

| Occupancy | W Sprinkler System |
|---|---|
| R-2 | 125' |

Max. travel distance: 49'-0"

**Chapter 29 Plumbing Systems**
Table 2902.1 Minimum Number of Required Plumbing Fixtures
Water Closet:
1 per 25 for the first 50 and 1 per 50 for the remainder exceeding 50
Total Occupancy: 57
Female: 28
Required WC: 1
Male: 29
Required WC: 1

Cottage (per unit):
Water Closet: 1 (new)
Lavatories: 1 (new)

Community Hall:
Water Closet:
Female WC Provided: 1 (new)
Male WC Provided: 1 (new)

Lavatories:
1 per 40 for the first 80 and 1/80 for the remainder exceeding 80
Female: 28
Required Lav: 1
Male: 29
Required Lav: 1

Lavatories
Female Lav Provided: 1 (new)
Male Lav Provided: 1 (new)

**Chapter 33 Construction Safeguards**
3301.1 The provisions of this chapter shall govern safety during construction that is under the jurisdiction of this code and the protection of adjacent public and private properties.

Contractor shall submit details to the Building Department for review and approval prior to obtaining the building permit for the following items:
-Manner of removal per 3304
-Facilities required per 3305
-Protection of pedestrians per 3306
-Protection of adjoining properties per 3307
-Temporary use of streets, alleys, public properties per 3308
-Fire extinguishers per 3309
-Exits per 3310
-Standpipes systems per 3311
-Water supply for fire protection per 3312

Mechanical/Electrical Contractor shall provide the following:
-Functional testing to be performed in accordance with 1416.3.3.
-Systems documentation to be provided in accordance with 1416.3.4.
-Commissioning report to be provided in accordance with 1416.3.5.
-Commissioning compliance checklist to be provided to building official in accordance with 1416.4.
-Thermostats to be provided with 5 degree deadband minimum or manual changeover between heating and cooling modes.

**WASHINGTON STATE ENERGY CODE**

Contractor is to provide components with the following maximum U-Factors or better:

| | |
|---|---|
| Fiberglass windows = | 0.30 |
| Aluminum windows = | 0.38 |
| Entrance/glazed doors = | 0.60 |
| Opaque doors = | 0.40 |

Contractor is to provide components with the following maximum Shading Coefficient or better:

Windows = 0.35

All doors shall be casketed to provide a maximum air leakage rate of 1.0 cfm/ft2 tested at a pressure of at least 1.57 psf.

All glazing shall be double-pane with a Low-E coating.


p 360 943 6774 f 360 352 7005
www.msgsarch.com
msgs architects
510 capitol way south
olympia, washington 98501


AS-Builts 8-2021 Jeff Hill Buchanan General Contracting Co.

VETERAN'S VILLAGE
1301 ORTING KAPOWSIN HWY EAST
ORTING, WA 98360
MSGS No. 17-100

7759 REGISTERED ARCHITECT
GARNER F. MILLER
STATE OF WASHINGTON

08/ 2019

**Permit Set**

Set No.

# ORTING VILLAGE
# PERMIT SET

## APPLICANT

COMMUNITY FRAMEWORKS
907 W RIVERSIDE AVENUE
SPOKANE, WA 99201
509.890.1208

## ARCHITECT

MSGS ARCHITECTS
510 CAPITAL WAY SOUTH
OLYMPIA, WA 98501
360.943.6774
CONTACT: GARNER MILLER

## CIVIL ENGINEER

JMJ TEAM
PO BOX 2066
SUMNER, WA 98390
206.596.2020
CONTACT: JUSTIN JONES, PE

## SURVEYOR

PARAMETRIX – PUYALLUP OFFICE
1019 39TH AVENUE SE
PUYALLUP, WA 98374
541.508.7710

## CALL BEFORE YOU DIG

THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING THE UNDERGROUND LOCATE LINE AT (800) 424–5555 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION.

## VICINITY MAP


## INDEX TO DRAWINGS

| Page # | Sheet # | Sheet Name |
|---|---|---|
| 1 | C1-101 | Cover Sheet |
| 2 | C1-201 | Existing Site Plan |
| 3 | C2-101 | Demolition & Erosion Control Plan |
| 4 | C3-101 | Site Plan |
| 5 | C3-102 | Site Plan |
| 6 | C3-201 | Parking Plan |
| 7 | C3-301 | Hardscape Details |
| 8 | C3-302 | Hardscape Details |
| 9 | C3-303 | Hardscape Details |
| 10 | C3-401 | Grading Plan |
| 11 | C4-101 | Composite Utility Plan |
| 12 | C5-101 | Storm & Drainage Plan |
| 13 | C5-102 | Storm Profiles |
| 14 | C5-201 | Storm Details |
| 15 | C6-101 | Composite Sanitary Sewer Plan |
| 16 | C6-102 | Sewer Profiles |
| 17 | C6-103 | Sewer Profiles |
| 18 | C6-201 | Sanitary Sewer Details |
| 19 | C7-101 | Composite Water Plan |
| 20 | C7-102 | Water Profiles |
| 21 | C7-201 | Water Details |
| 22 | C8-101 | Power & Communication Plan |
| | | |
| 23 | C9-101 | Demolition & Erosion Control Plan |
| 24 | C9-201 | Site Plan |
| 25 | C9-301 | Hardscape Details |

CALL TWO BUSINESS DAYS BEFORE YOU DIG
1–800–424–5555
UTILITIES UNDERGROUND LOCATION CENTER


Architect:
Garner Miller
MSGS Architects
510 Capitol Way South
Olympia, WA 98501

Engineer:
JMJTEAM
Justin Jones, PE
justin@jmjteam.com
206.596.2020

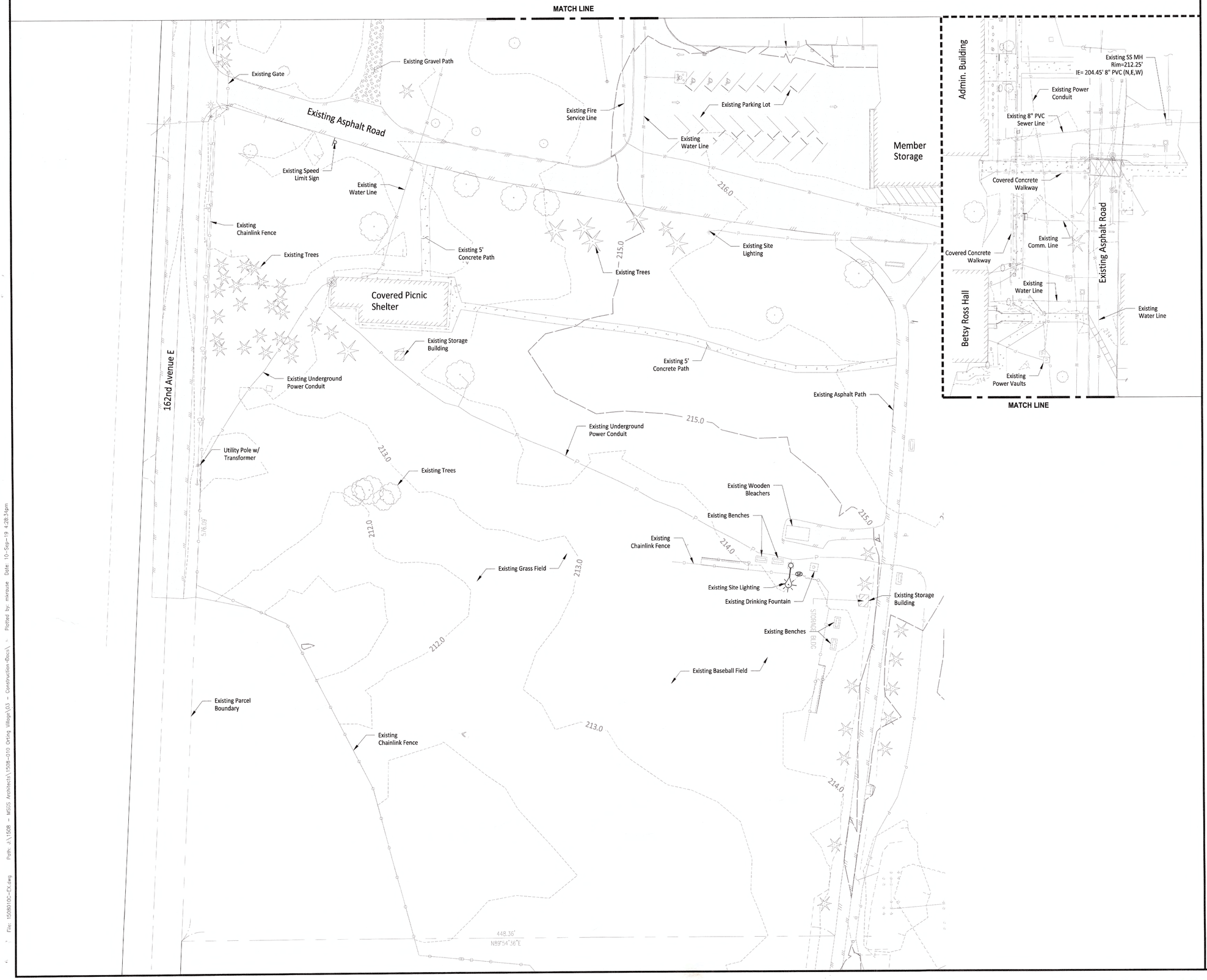

Project:
Orting Village
Permit Set

ONE INCH AT FULL SCALE. IF NOT, SCALE ACCORDINGLY

JUSTIN M. JONES — STATE OF WASHINGTON — 41829 — REGISTERED PROFESSIONAL ENGINEER
09/11/19

| REV | DATE | DESCRIPTION |
|---|---|---|
| 1 | 12/20/18 | City Comments |
| 2 | 02/06/19 | City Comments |
| 3 | 05/17/19 | Design Update |
| 4 | 07/19/19 | Permit Set |
| 5 | 08/09/19 | Pricing Set |
| 6 | 09/11/19 | City Comments |

DRAWN BY: I. Harkins
DESIGN BY: J. Jones
PROJ. NO: 1508-010
DATE: September 11, 2019
DWG.
Cover Sheet
SHEET NUMBER:
C1-101




## LEGEND

- Existing Concrete
- Existing Asphalt
- Existing Gravel
- SD — Existing Storm Line
- SS — Existing Sewer Line
- W — Existing Water Line
- P — Existing Power Line
- T — Existing Communication Line
- Existing Fence

0 30 60 Feet

CALL TWO BUSINESS DAYS BEFORE YOU DIG
1-800-424-5555
UTILITIES UNDERGROUND LOCATION CENTER


Architect:
Garner Miller
MSGS Architects
510 Capitol Way South
Olympia, WA 98501

Engineer:
JMJTEAM
Justin Jones, PE
justin@jmjteam.com
206.596.2020


Project:
Orting Village

Permit Set

ONE INCH AT FULL SCALE.
IF NOT, SCALE ACCORDINGLY

JUSTIN M. JONES
STATE OF WASHINGTON
21882
REGISTERED PROFESSIONAL ENGINEER
09/11/19

| REV | DATE | DESCRIPTION |
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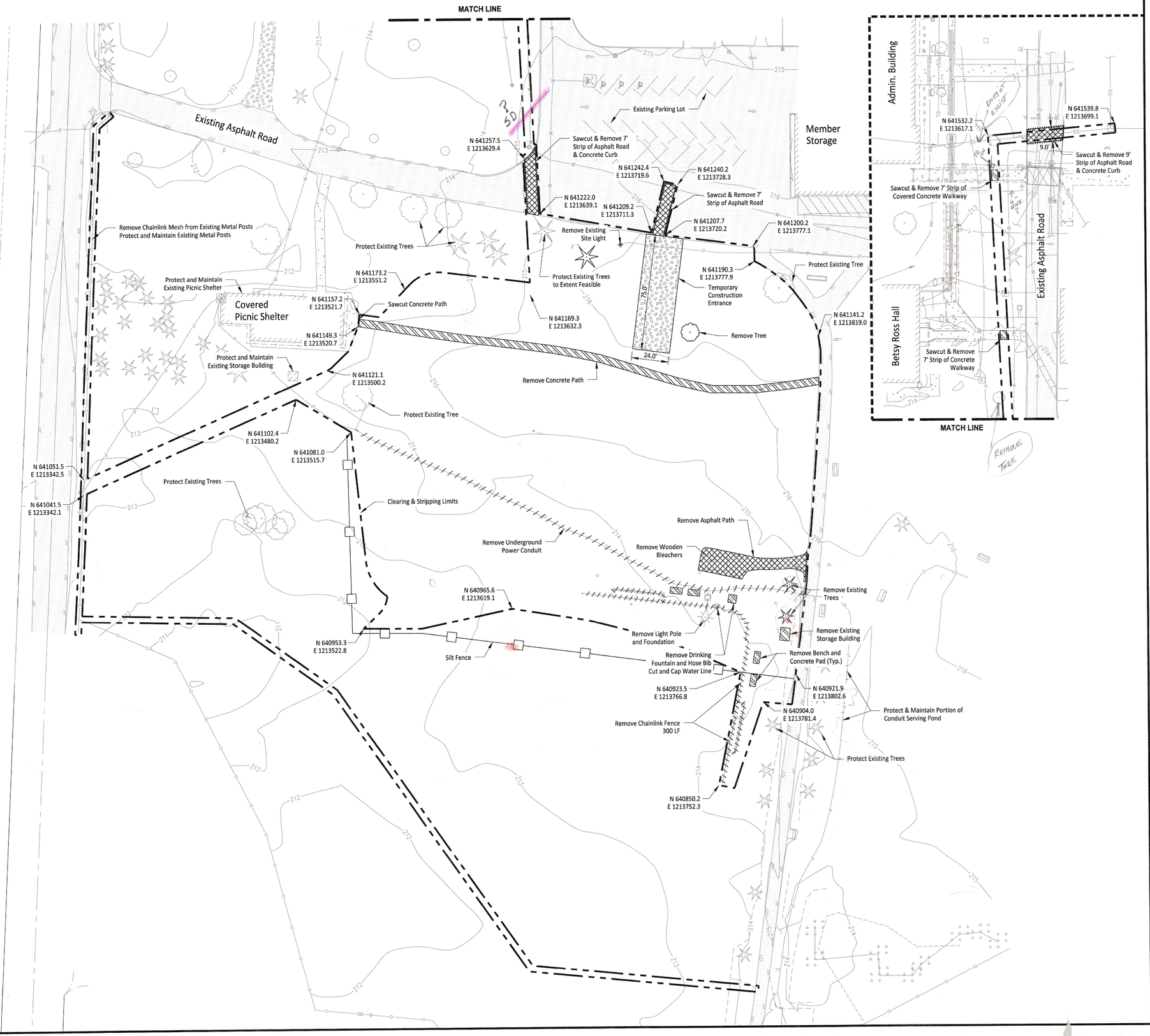
C1-201




## GENERAL NOTES

1. Contractor to install TESC measures as necessary to ensure stormwater leaving the site is free of settleable solids.
2. Roads shall be cleaned thoroughly as needed to protect stormwater infrastructure and downstream water resources. Sediment shall be removed from roads by shoveling or pickup sweeping and be transported to a controlled sediment disposal area.
3. Install storm drain inlet protection in all existing catch basins within the project vicinity per WSDOT Std Plan I-40.20-00.
4. Install straw bale barriers, wattles, and other necessary TESC measures as necessary.
5. Exposed soils shall be watered as necessary to prevent dust from leaving the site.
6. Contractor to mark clearing limits with lath and flagging.
7. Concrete handling and equipment washing shall be in accordance with DOE BMP C151.
8. Maintain construction entrance and install silt fence as necessary.
9. Keep all heavy equipment off existing soils under LID facilities that have been excavated to final grade to retain the infiltration rate of the soils.
10. Total Asphalt Area to be Removed = 2,000 SF.
11. Total Concrete Area to be Removed = 1,600 SF.
    - 11.1. Northern Covered Concrete Walkway to be Protected & Maintained to furthest extent possible.
12. Existing Grass Landscaping within project area to be Cleared & Grubbed to a 3" depth and Removed/Retained on Site.
    - 12.1. Total Grass Landscaping to be Cleared & Grubbed = 72,400 SF.
13. Estimated Foundation Material (20% of 8" Sanitary Sewer = 40 CY.
14. Estimated Import Bedding (100% of 8" Sanitary Sewer and 2" & 8" Water) = 500 CY.
15. Estimated Import Backfill (30% of 8" Water and 8" Sanitary Sewer) = 350 CY.
16. Estimated Clearing & Stripping = 1,500 CY.

## LEGEND

- Remove Existing Asphalt
- Remove Existing Concrete
- Temporary Construction Entrance per City of Orting Standard Details X-2A and X-2B
- Clearing & Stripping Limits
- Sawcut Existing Pavement
- Remove Existing Power Line
- Remove Existing Fence
- Silt Fence per City of Orting Standard Detail X-3

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Architect:
Garner Miller
MSGS Architects
510 Capitol Way South
Olympia, WA 98501

Engineer:
JMJTEAM
Justin Jones, PE
justin@jmjteam.com
206.596.2020


Project:
Orting Village

Permit Set

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JUSTIN M. JONES STATE OF WASHINGTON 41029 REGISTERED PROFESSIONAL ENGINEER
09/11/19

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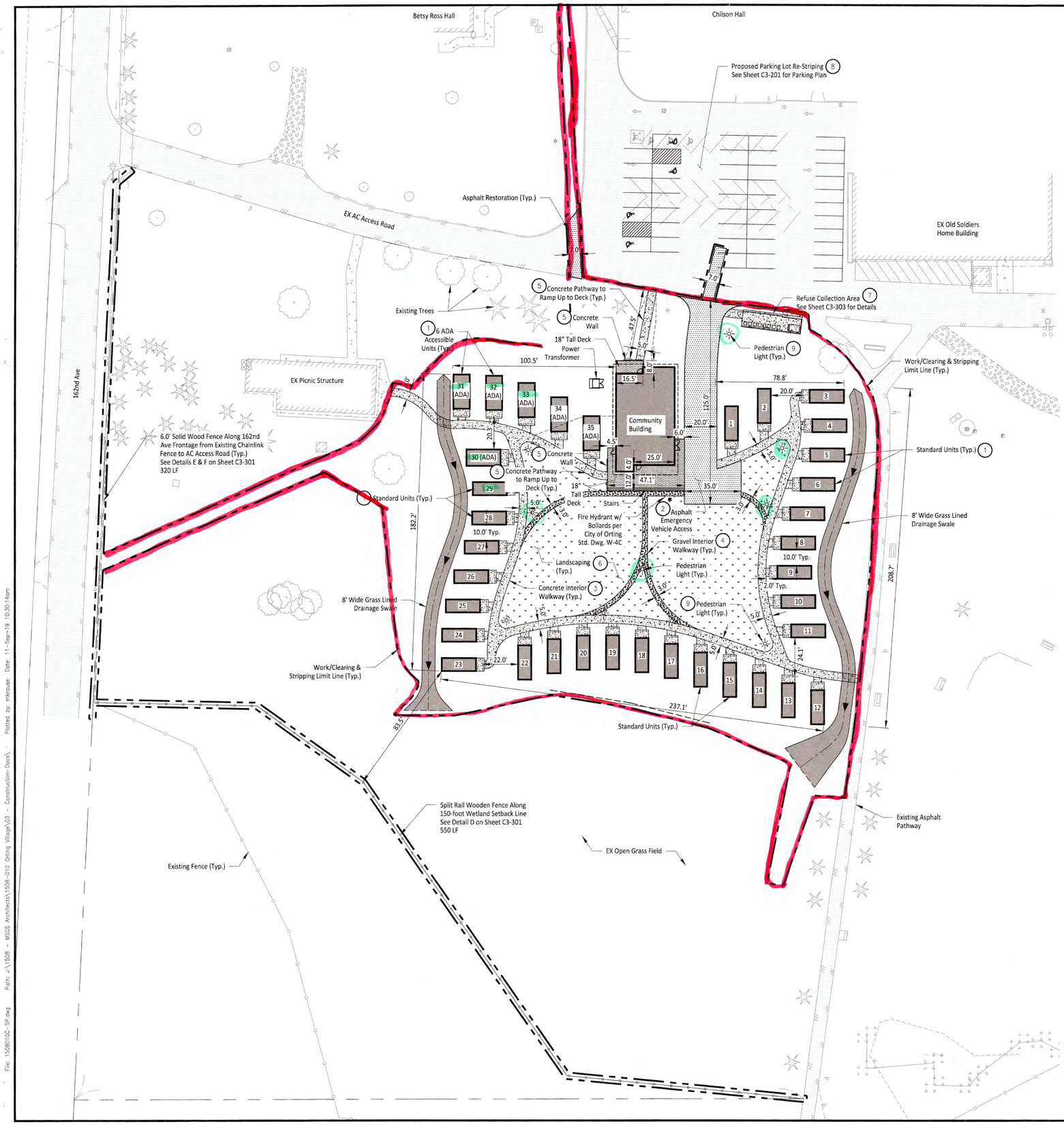
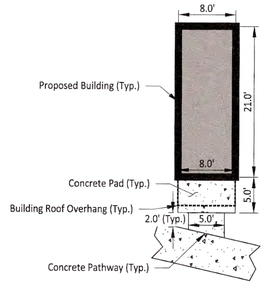
DESIGN BY: J. Jones
PROJ. NO.: 1508-010
DATE: September 11, 2019

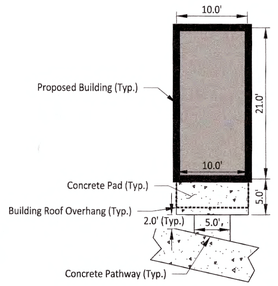
DWG.
Demolition and Erosion Control Plan

SHEET NUMBER
C2-101




**Standard Unit Hardscape Detail** (A1) — 1" = 10' — C3-101




**ADA Unit Hardscape Detail** (A2) — 1" = 10' — C3-101

## CONSTRUCTION NOTES

1. Site to Contain 35 Units, 29 Standard Buildings and 6 ADA Accessible Buildings on northern side of Site. See Architectural Plans for Details.
2. Asphalt Pavement to be 3" HMA over 3" CSTC. See Detail A on Sheet C3-301 for Section.
   - Asphalt Paving Area = 3,600 SF
3. Concrete Pavement to be 4" Concrete over 2" CSTC. See Detail B on Sheet C3-301 for Section.
   - Covered Concrete Walkways on northern portion of site to be protected and maintained to furthest extent possible. Covered Walkways to be restored to existing condition.
   - Concrete Paving Area = 7,000 SF
4. Gravel Walkways to be 3" of compacted CSTC over compacted subgrade. See Detail C on Sheet C3-301 for Section.
5. See Detail A on Sheet C3-302 for Concrete Pathway to Deck Connection. See Detail B for Concrete Retaining Wall Detail.
6. Landscape Cover and Materials to be Detailed in Landscape Plans, and include the following:
   - Interior Landscape Area = 13,500 SF
7. See Sheet C3-303 for Refuse Collection Area Details.
8. See Sheet C3-201 for Parking Layout.
9. See Electrical Plans for Pedestrian Light Fixtures and Locations.

## GENERAL NOTES

1. Final Site Grading requires approximately 1,500CY Import Material Including Paving. See Sheets C3-401 for Site Grading

## LEGEND

- Existing Concrete
- Existing Asphalt
- Existing Gravel
- Proposed Asphalt Pavement — See Detail A on Sheet C3-301
- Proposed Concrete Pavement — See Detail B on Sheet C3-301
- Proposed Gravel — See Detail C on Sheet C3-301
- Composite Deck — See Details on Sheet C3-302
- Proposed Landscape
- Solid Wood Fence
- Split Rail Wood Fence
- Split Rail Wood Fence
- Clearing & Stripping Limits

0 30 60 Feet

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Architect:
Garner Miller
MSGS Architects
510 Capitol Way South
Olympia, WA 98501

Engineer:
MJTEAM
Justin Jones, PE
justin@mjteam.com
206.596.2020


Project:
Orting Village

Permit Set

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JUSTIN M. JONES — STATE OF WASHINGTON — 41820 — REGISTERED PROFESSIONAL ENGINEER
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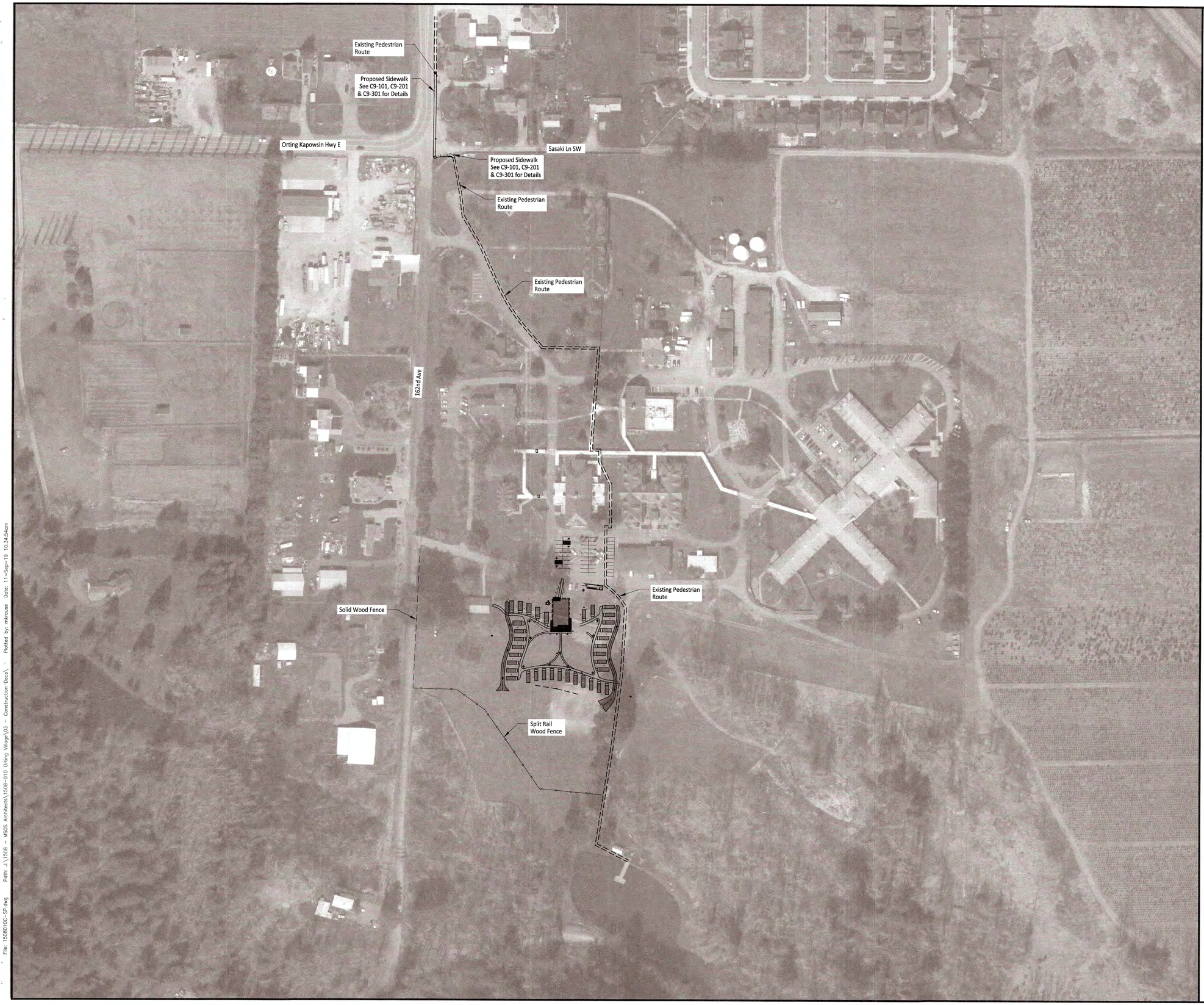
PROJ. NO: 1508-010
DATE: September 11, 2019
DWG: Site Plan
SHEET NUMBER: C3-101




## GENERAL NOTES

1. Final Site Grading requires approximately 1,500CY Import Material Including Paving. See Sheets C3-401 for Site Grading

## LEGEND

- Existing Concrete
- Existing Asphalt
- Existing Gravel
- Proposed Asphalt Pavement See Detail A on Sheet C3-301
- Proposed Concrete Pavement See Detail B on Sheet C3-301
- Proposed Gravel See Detail C on Sheet C3-301
- Composite Deck See Details on Sheet C3-302
- Proposed Landscape
- Solid Wood Fence
- Split Rail Wood Fence
- Existing Pedestrian Route

0 100 200 Feet

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Garner Miller
MSGS Architects
510 Capitol Way South
Olympia, WA 98501

Engineer:
JMJTEAM
Justin Jones, PE
justin@jmjteam.com
206.596.2020


Project:
Orting Village
Permit Set

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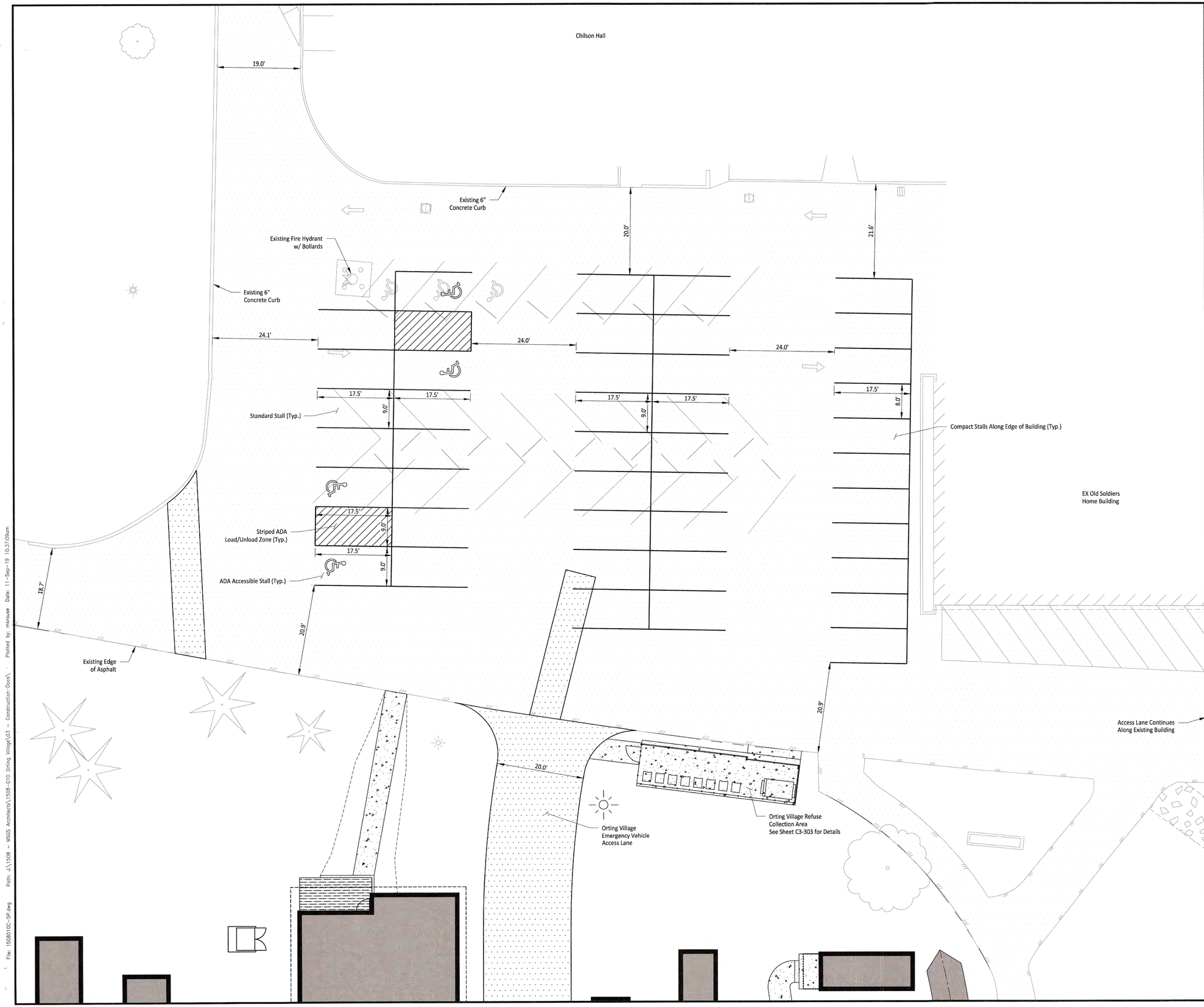
PROJ NO: 1508-010
DATE: September 11, 2019
DWG: Site Plan
SHEET NUMBER: C3-102




## GENERAL NOTES

1. Existing Vehicle Parking:
   - 1.1. 3 ADA Accessible Stalls
   - 1.2. 19 Standard Stalls
   - 1.3. 3 ADA + 19 Standard = 22 Total Stalls
2. Proposed Vehicle Parking:
   - 2.1. 4 ADA Accessible Stalls
   - 2.2. 27 Standard Stalls
   - 2.3. 11 Compact Stalls
   - 2.4. 4 ADA + 27 Standard + 11 Compact = 42 Total Stalls Provided
3. An agreement between Orting Veteran's Village and Old Soldier's Home shall be prepared for shared use of re-striped parking lot.

## CONSTRUCTION SEQUENCE

1. Remove Existing Wheel Stops and Retain On-Site.
2. Black out or Remove Existing Striping and Channelization.
3. Clean Parking Lot Surface of any Debris.
4. Re-Stripe Parking Lot per Parking Plan Layout.
5. Add Wheel Stops along Existing Buildings and in front of Existing Fire Hydrant.

## LEGEND

- Existing Concrete
- Existing Asphalt
- Existing Gravel
- Proposed Asphalt Pavement See Detail A on Sheet C3-301
- Proposed Concrete Pavement See Detail B on Sheet C3-301
- Proposed Landscape

0 10 20 Feet

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Engineer:
JMJTEAM
Justin Jones, PE
justin@jmjteam.com
206.596.2020


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DESIGN BY: J. Jones
PROJ. NO: 1508-010
DATE: September 11, 2019

DWG.
Parking Plan

SHEET NUMBER
C3-201


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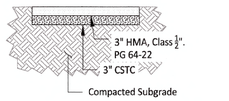
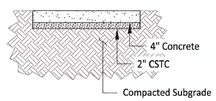
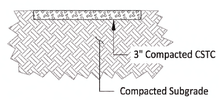



**Typical Asphalt Detail** A — 1" = 2' — C3-301



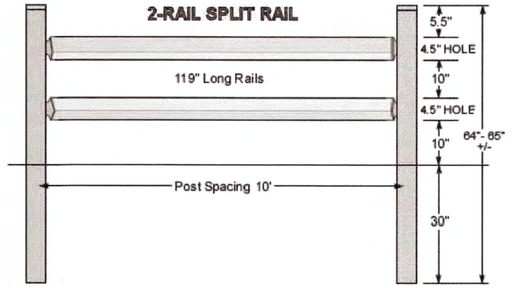

**Typical Concrete Detail** B — 1" = 2' — C3-301



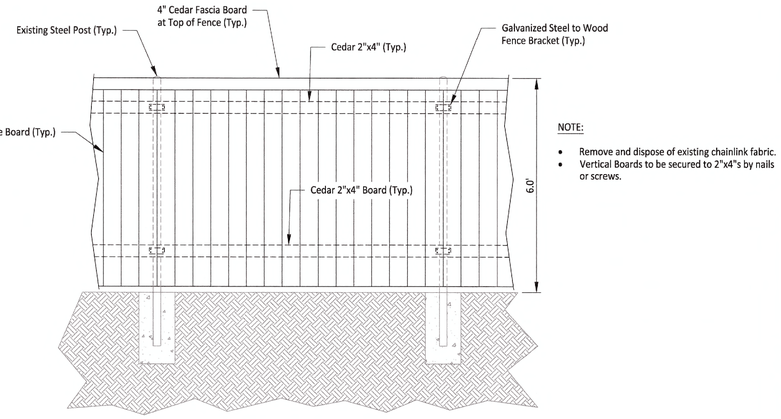

**Typical Gravel Path Detail** C — 1" = 2' — C3-301

NOTE:

Subgrade soils should be compacted to a non-yielding state with a vibratory roller compactor and then proof rolled with a piece of heavy construct equipment, such as a fully-loaded dump truck. Any areas with excessive weaving or flexing should be overexcavated and recompacted or replaced with a structural fill or crushed rock and placed and compacted in accordance with recommendations provided in the Geotechnical Report. The placement of a geosynthetic grid or fabic would also help reduce overexcavation depth and potential subgrade failures underlying pavement section.



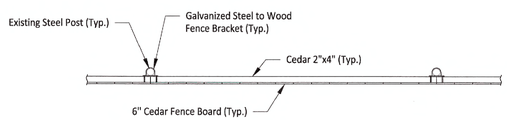

**Split Rail Fence Detail** D — No Scale — C3-301




NOTE:

- Remove and dispose of existing chainlink fabric.
- Vertical Boards to be secured to 2"x4"s by nails or screws.

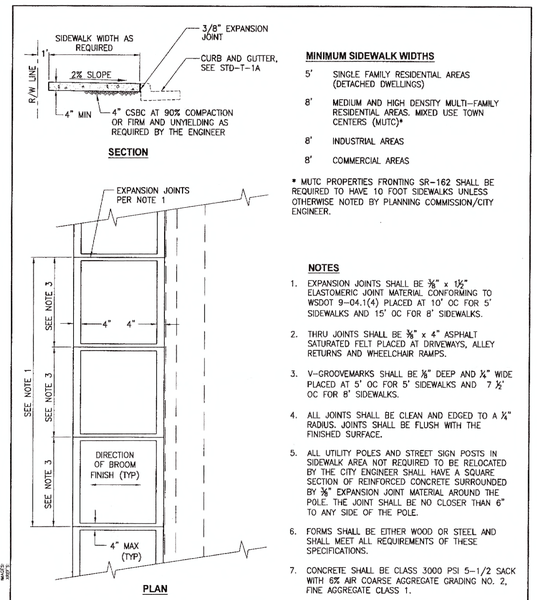
**6-Foot Solid Wood Screen Fence Detail** E — 1" = 2' — C3-301




NOTE:

- Remove and dispose of existing chainlink fabric.
- Vertical Boards to be secured to 2"x4"s by nails or screws.

**6-Foot Solid Wood Screen Fence Detail** F — 1" = 2' — C3-301




**MINIMUM SIDEWALK WIDTHS**

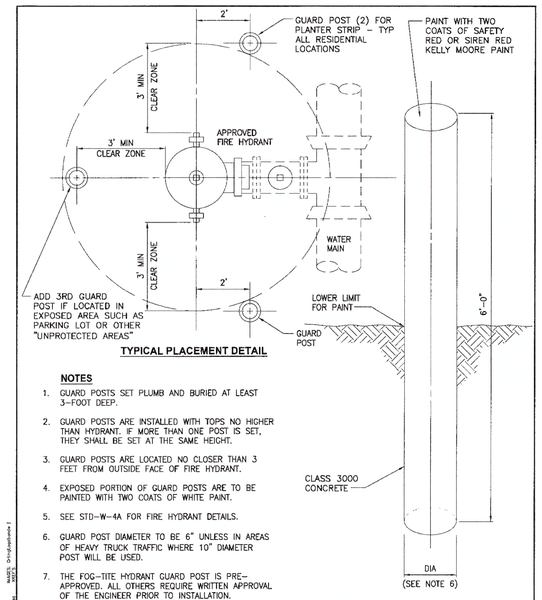
| | |
|---|---|
| 5' | SINGLE FAMILY RESIDENTIAL AREAS (DETACHED DWELLINGS) |
| 8' | MEDIUM AND HIGH DENSITY MULTI-FAMILY RESIDENTIAL AREAS, MIXED USE TOWN CENTERS (MUTC)* |
| 8' | INDUSTRIAL AREAS |
| 8' | COMMERCIAL AREAS |

* MUTC PROPERTIES FRONTING SR-162 SHALL BE REQUIRED TO HAVE 10 FOOT SIDEWALKS UNLESS OTHERWISE NOTED BY PLANNING COMMISSION/CITY ENGINEER.

**NOTES**

1. EXPANSION JOINTS SHALL BE ¾" x 12" ELASTOMERIC JOINT MATERIAL CONFORMING TO WSDOT 9-04.1(4) PLACED AT 10' OC FOR 5' SIDEWALKS AND 15' OC FOR 8' SIDEWALKS.
2. THRU JOINTS SHALL BE ⅜" x 4" ASPHALT SATURATED FELT PLACED AT DRIVEWAYS, ALLEY RETURNS AND WHEELCHAIR RAMPS.
3. V-GROOVEMARKS SHALL BE ⅛" DEEP AND ¼" WIDE PLACED AT 5' OC FOR 5' SIDEWALKS AND 7 ½' OC FOR 8' SIDEWALKS.
4. ALL JOINTS SHALL BE CLEAN AND EDGED TO A ¼" RADIUS. JOINTS SHALL BE FLUSH WITH THE FINISHED SURFACE.
5. ALL UTILITY POLES AND STREET SIGN POSTS IN SIDEWALK AREA NOT REQUIRED TO BE RELOCATED BY THE CITY ENGINEER SHALL HAVE A SQUARE SECTION OF REINFORCED CONCRETE SURROUNDED BY ⅜" EXPANSION JOINT MATERIAL AROUND THE POLE. THE JOINT SHALL BE NO CLOSER THAN 6" TO ANY SIDE OF THE POLE.
6. FORMS SHALL BE EITHER WOOD OR STEEL AND SHALL MEET ALL REQUIREMENTS OF THESE SPECIFICATIONS.
7. CONCRETE SHALL BE CLASS 3000 PSI 5-1/2 SACK WITH 6% AIR COARSE AGGREGATE GRADING NO. 2, FINE AGGREGATE CLASS 1.

| CITY OF ORTING | SIDEWALK | | |
|---|---|---|---|
| | SCALE: NO SCALE | APPROVAL DATE: | DRAWING NO. T-3C |
| | FILE NAME: STD-T-3C | | |




**TYPICAL PLACEMENT DETAIL**

**NOTES**

1. GUARD POSTS SET PLUMB AND BURIED AT LEAST 3-FOOT DEEP.
2. GUARD POSTS ARE INSTALLED WITH TOPS NO HIGHER THAN HYDRANT. IF MORE THAN ONE POST IS SET, THEY SHALL BE SET AT THE SAME HEIGHT.
3. GUARD POSTS ARE LOCATED NO CLOSER THAN 3 FEET FROM OUTSIDE FACE OF FIRE HYDRANT.
4. EXPOSED PORTION OF GUARD POSTS ARE TO BE PAINTED WITH TWO COATS OF WHITE PAINT.
5. SEE STD-W-4A FOR FIRE HYDRANT DETAILS.
6. GUARD POST DIAMETER TO BE 6" UNLESS IN AREAS OF HEAVY TRUCK TRAFFIC WHERE 10" DIAMETER POST WILL BE USED.
7. THE FOG-TITE HYDRANT GUARD POST IS PRE-APPROVED. ALL OTHERS REQUIRE WRITTEN APPROVAL OF THE ENGINEER PRIOR TO INSTALLATION.

| CITY OF ORTING | FIRE HYDRANT GUARD POST | | |
|---|---|---|---|
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| | FILE NAME: STD-W-4C | | |

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Engineer:
JMJTEAM
Justin Jones, PE
justin@jmjteam.com
206.596.2020


Project:
Orting Village

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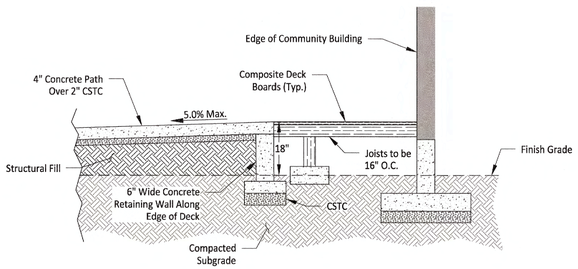
Hardscape Details

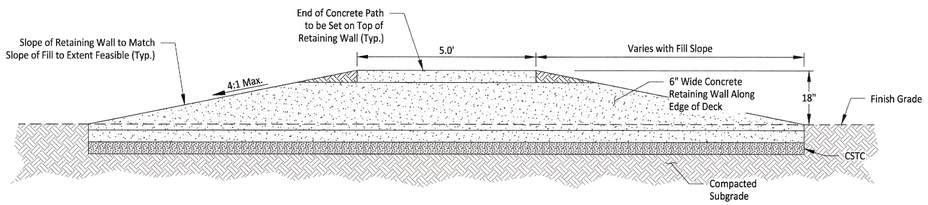
SHEET NUMBER
C3-301




**Concrete Path to Deck Connection**

**Detail** A

1" = 2' C3-302




**Concrete Retaining Wall**

**Detail** B

1" = 2' C3-302

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MSGS Architects
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Engineer:
JMJTEAM
Justin Jones, PE
justin@jmjteam.com
206.596.2020


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DESIGN BY: J. Jones

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Hardscape
Details

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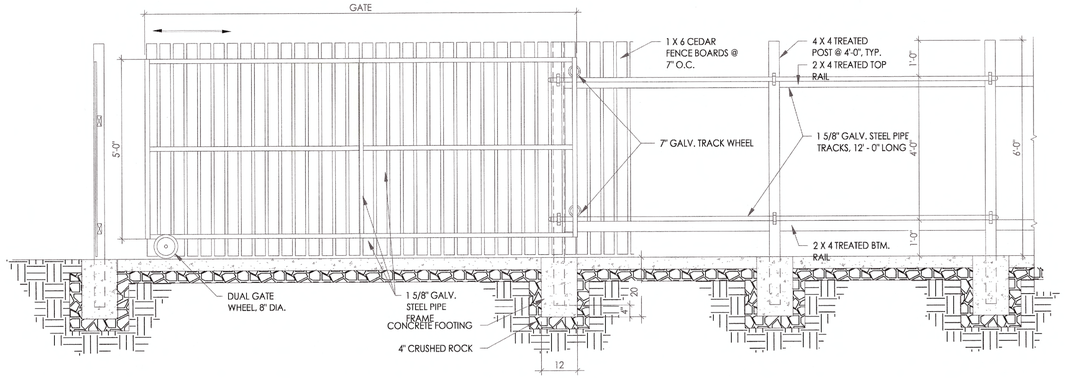
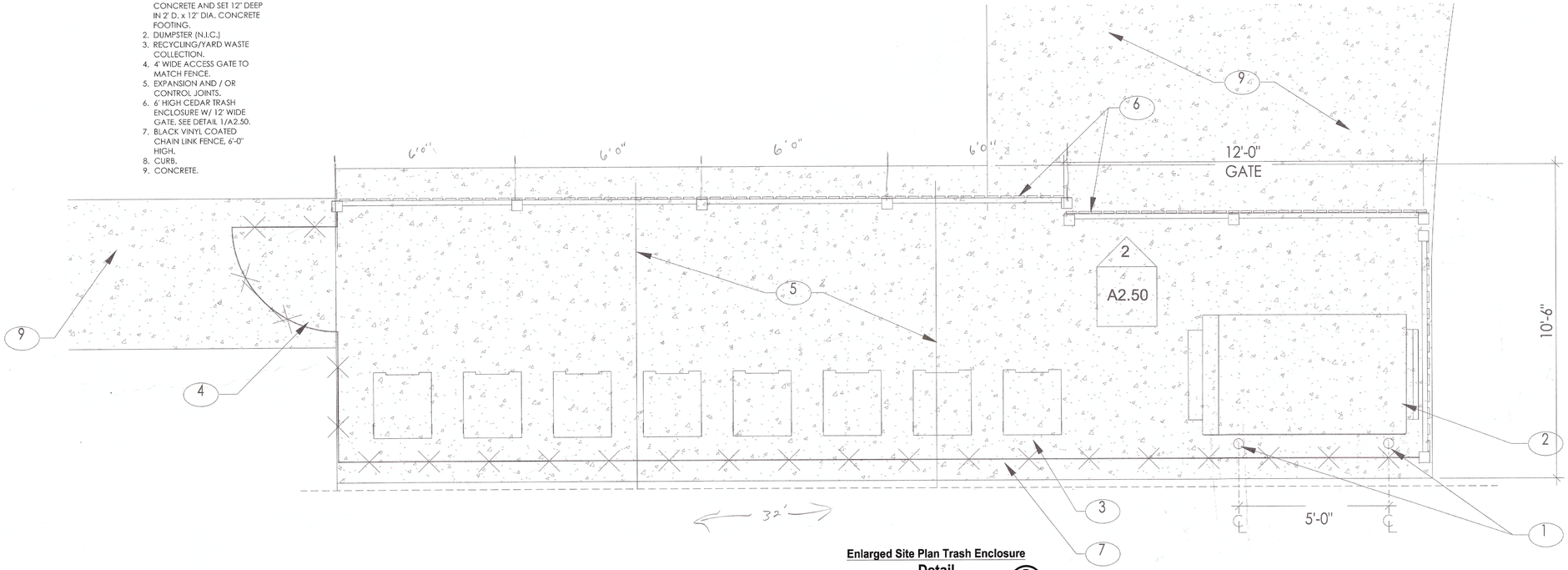



**Cedar Fencegate Detail** A C3-303
1" = 2'

KEYNOTES

1. (2) 4" DIA. SCHEDULE 40 STEEL PIPE BOLLARDS, EXTENDING 42" HIGH FROM T.O. CONCRETE SLAB; FILL W/ CONCRETE AND SET 12" DEEP IN 2' D. x 12' DIA. CONCRETE FOOTING.
2. DUMPSTER (N.I.C.)
3. RECYCLING/YARD WASTE COLLECTION.
4. 4' WIDE ACCESS GATE TO MATCH FENCE.
5. EXPANSION AND / OR CONTROL JOINTS.
6. 6' HIGH CEDAR TRASH ENCLOSURE W/ 12' WIDE GATE. SEE DETAIL 1/A2.50.
7. BLACK VINYL COATED CHAIN LINK FENCE, 6'-0" HIGH.
8. CURB.
9. CONCRETE.




**Enlarged Site Plan Trash Enclosure Detail** B C3-303
1" = 2'

32' x 10'6" PAD


Architect:
Garner Miller
MSGS Architects
510 Capitol Way South
Olympia, WA 98501

Engineer:
JMJTEAM
Justin Jones, PE
justin@jmjteam.com
206.596.2020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DATE: September 11, 2019
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1-800-424-5555
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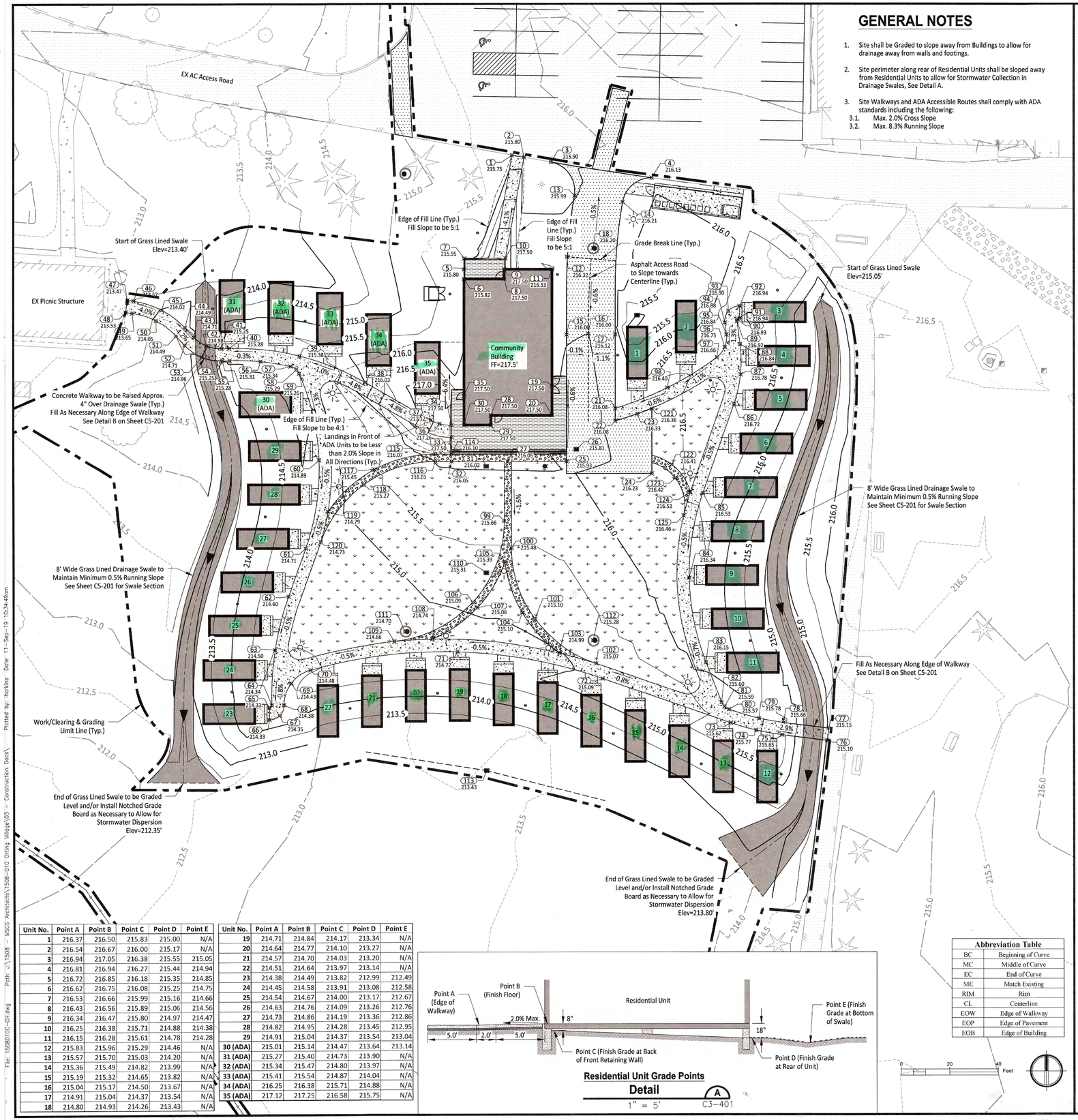



## GENERAL NOTES

1. Site shall be Graded to slope away from Buildings to allow for drainage away from walls and footings.
2. Site perimeter along rear of Residential Units shall be sloped away from Residential Units to allow for Stormwater Collection in Drainage Swales, See Detail A.
3. Site Walkways and ADA Accessible Routes shall comply with ADA standards including the following:
   - 3.1. Max. 2.0% Cross Slope
   - 3.2. Max. 8.3% Running Slope

| Unit No. | Point A | Point B | Point C | Point D | Point E |
|---|---|---|---|---|---|
| 1 | 216.37 | 216.50 | 215.83 | 215.00 | N/A |
| 2 | 216.54 | 216.67 | 216.00 | 215.17 | N/A |
| 3 | 216.94 | 217.05 | 216.38 | 215.55 | 215.05 |
| 4 | 216.81 | 216.94 | 216.27 | 215.44 | 214.94 |
| 5 | 216.72 | 216.85 | 216.18 | 215.35 | 214.85 |
| 6 | 216.62 | 216.75 | 216.08 | 215.25 | 214.75 |
| 7 | 216.53 | 216.66 | 215.99 | 215.16 | 214.66 |
| 8 | 216.43 | 216.56 | 215.89 | 215.06 | 214.56 |
| 9 | 216.34 | 216.47 | 215.80 | 214.97 | 214.47 |
| 10 | 216.25 | 216.38 | 215.71 | 214.88 | 214.38 |
| 11 | 216.15 | 216.28 | 215.61 | 214.78 | 214.28 |
| 12 | 215.83 | 215.96 | 215.29 | 214.46 | N/A |
| 13 | 215.57 | 215.70 | 215.03 | 214.20 | N/A |
| 14 | 215.36 | 215.49 | 214.82 | 213.99 | N/A |
| 15 | 215.19 | 215.32 | 214.65 | 213.82 | N/A |
| 16 | 215.04 | 215.17 | 214.50 | 213.67 | N/A |
| 17 | 214.91 | 215.04 | 214.37 | 213.54 | N/A |
| 18 | 214.80 | 214.93 | 214.26 | 213.43 | N/A |

| Unit No. | Point A | Point B | Point C | Point D | Point E |
|---|---|---|---|---|---|
| 19 | 214.71 | 214.84 | 214.17 | 213.34 | N/A |
| 20 | 214.64 | 214.77 | 214.10 | 213.27 | N/A |
| 21 | 214.57 | 214.70 | 214.03 | 213.20 | N/A |
| 22 | 214.51 | 214.64 | 213.97 | 213.14 | N/A |
| 23 | 214.38 | 214.49 | 213.82 | 212.99 | 212.49 |
| 24 | 214.45 | 214.58 | 213.91 | 213.08 | 212.58 |
| 25 | 214.54 | 214.67 | 214.00 | 213.17 | 212.67 |
| 26 | 214.63 | 214.76 | 214.09 | 213.26 | 212.76 |
| 27 | 214.73 | 214.86 | 214.19 | 213.36 | 212.86 |
| 28 | 214.82 | 214.95 | 214.28 | 213.45 | 212.95 |
| 29 | 214.91 | 215.04 | 214.37 | 213.54 | 213.04 |
| 30 (ADA) | 215.01 | 215.14 | 214.47 | 213.64 | 213.14 |
| 31 (ADA) | 215.27 | 215.40 | 214.73 | 213.90 | N/A |
| 32 (ADA) | 215.34 | 215.47 | 214.80 | 213.97 | N/A |
| 33 (ADA) | 215.41 | 215.54 | 214.87 | 214.04 | N/A |
| 34 (ADA) | 216.25 | 216.38 | 215.71 | 214.88 | N/A |
| 35 (ADA) | 217.12 | 217.25 | 216.58 | 215.75 | N/A |




**Residential Unit Grade Points Detail** A C3-401
1" = 5'

| Abbreviation Table | |
|---|---|
| BC | Beginning of Curve |
| MC | Middle of Curve |
| EC | End of Curve |
| ME | Match Existing |
| RIM | Rim |
| CL | Centerline |
| EOW | Edge of Walkway |
| EOP | Edge of Pavement |
| EOB | Edge of Building |

0 20 40 Feet

| Point Table | | | | |
|---|---|---|---|---|
| Point # | Elevation | Northing | Easting | Description |
| 1 | 215.75 | 641213.64 | 1213679.03 | EOW, ME |
| 2 | 215.80 | 641212.77 | 1213683.96 | EOW, ME |
| 3 | 215.90 | 641210.82 | 1213694.95 | EOP, ME |
| 4 | 216.13 | 641204.31 | 1213736.24 | EOP, ME |
| 5 | 215.80 | 641166.87 | 1213659.31 | EOW |
| 6 | 215.82 | 641162.87 | 1213659.31 | EOB |
| 7 | 215.95 | 641171.29 | 1213659.36 | EOW |
| 8 | 217.50 | 641162.87 | 1213675.81 | EOB |
| 9 | 217.50 | 641166.87 | 1213675.81 | EOB |
| 10 | 217.50 | 641171.37 | 1213676.30 | EOW |
| 11 | 216.53 | 641166.87 | 1213695.31 | EOB |
| 12 | 216.32 | 641171.97 | 1213701.51 | EOW |
| 13 | 215.99 | 641197.11 | 1213704.67 | EOP |
| 14 | 216.21 | 641194.37 | 1213724.35 | EOP |
| 15 | 216.00 | 641139.94 | 1213701.31 | EOP |
| 16 | 216.00 | 641140.29 | 1213710.32 | CL |
| 17 | 216.12 | 641140.03 | 1213721.31 | EOP |
| 18 | 216.20 | 641175.38 | 1213712.33 | RIM |
| 19 | 217.50 | 641118.86 | 1213695.31 | EOB |
| 20 | 217.50 | 641106.87 | 1213695.31 | EOB |
| 21 | 216.08 | 641109.77 | 1213721.31 | EOW |
| 22 | 216.08 | 641104.57 | 1213721.31 | EOW |
| 23 | 216.33 | 641107.47 | 1213730.31 | EOW |
| 24 | 216.23 | 641082.87 | 1213736.31 | EOP |
| 25 | 215.93 | 641087.87 | 1213701.31 | EOP |
| 26 | 215.81 | 641092.75 | 1213705.31 | RIM |
| 27 | 216.05 | 641087.87 | 1213677.24 | EOW |
| 28 | 217.50 | 641106.87 | 1213670.31 | EOB |
| 29 | 217.50 | 641102.87 | 1213670.31 | EOB |
| 30 | 217.50 | 641102.87 | 1213659.31 | EOB |
| 31 | 216.02 | 641085.76 | 1213668.40 | RIM |
| 32 | 216.05 | 641087.87 | 1213654.17 | EOW |
| 33 | 217.50 | 641097.87 | 1213654.17 | EOW |
| 34 | 217.50 | 641102.87 | 1213654.17 | EOW, BC |
| 35 | 217.50 | 641114.80 | 1213659.31 | EOB |
| 36 | 217.26 | 641103.38 | 1213649.31 | EOW, MC |
| 37 | 217.12 | 641104.88 | 1213645.69 | EOW, EC |
| 38 | 216.03 | 641120.32 | 1213618.96 | EOW, BC |
| 39 | 215.38 | 641131.23 | 1213592.01 | EOW, MC |
| 40 | 215.28 | 641134.33 | 1213563.10 | EOW, EC |
| 41 | 215.25 | 641134.23 | 1213560.05 | EOW, BC |
| 42 | 214.98 | 641135.39 | 1213553.77 | EOW, MC |
| 43 | 214.71 | 641139.05 | 1213548.55 | EOW, EC |
| 44 | 214.49 | 641142.95 | 1213544.95 | EOW, BC |
| 45 | 214.02 | 641150.24 | 1213535.42 | EOW, MC |
| 46 | 213.57 | 641153.88 | 1213523.98 | EOW, EC |
| 47 | 213.47 | 641154.25 | 1213521.33 | EOW, ME |
| 48 | 213.53 | 641149.29 | 1213520.68 | EOW, ME |
| 49 | 213.65 | 641148.93 | 1213523.31 | EOW, BC |
| 50 | 214.05 | 641145.80 | 1213533.11 | EOW, MC |
| 51 | 214.49 | 641139.55 | 1213541.28 | EOW, EC |
| 52 | 214.71 | 641135.66 | 1213544.87 | EOW, BC |
| 53 | 214.96 | 641130.78 | 1213551.84 | EOW, MC |
| 54 | 215.25 | 641129.23 | 1213560.21 | EOW, EC |
| 55 | 215.28 | 641129.33 | 1213563.26 | EOW, BC |
| 56 | 215.31 | 641128.94 | 1213575.87 | EOW, MC |
| 57 | 215.34 | 641126.96 | 1213588.33 | EOW, EC, BC |
| 58 | 215.29 | 641125.72 | 1213590.67 | EOW, MC |
| 59 | 215.26 | 641124.09 | 1213591.82 | EOW, EC, BC |
| 60 | 214.89 | 641088.47 | 1213599.97 | EOW, MC |
| 61 | 214.71 | 641052.35 | 1213594.43 | EOW, EC |
| 62 | 214.60 | 641032.35 | 1213587.35 | EOW, BC |
| 63 | 214.50 | 641010.43 | 1213581.80 | EOW, MC |
| 64 | 214.34 | 640987.86 | 1213580.37 | EOW, EC, BC |
| 65 | 214.33 | 640986.84 | 1213579.36 | EOW, EC |

| Point Table | | | | |
|---|---|---|---|---|
| Point # | Elevation | Northing | Easting | Description |
| 66 | 214.33 | 640981.84 | 1213579.37 | EOW, BC |
| 67 | 214.35 | 640983.62 | 1213583.64 | EOW, MC |
| 68 | 214.38 | 640987.91 | 1213585.37 | EOW, EC, BC |
| 69 | 214.43 | 640996.94 | 1213588.43 | EOW, MC |
| 70 | 214.48 | 641002.31 | 1213596.32 | EOW, EC, BC |
| 71 | 214.72 | 641009.67 | 1213656.49 | EOW, MC |
| 72 | 215.09 | 640998.66 | 1213716.09 | EOW, EC |
| 73 | 215.62 | 640980.42 | 1213768.54 | EOW, BC |
| 74 | 215.77 | 640977.41 | 1213778.92 | EOW, MC |
| 75 | 215.65 | 640975.51 | 1213789.55 | EOW. EC |
| 76 | 215.10 | 640973.22 | 1213808.00 | EOW, ME |
| 77 | 215.15 | 640978.17 | 1213808.68 | EOW, ME |
| 78 | 215.66 | 640980.48 | 1213790.17 | EOW, BC |
| 79 | 215.78 | 640982.28 | 1213780.05 | EOW, MC |
| 80 | 215.57 | 640985.97 | 1213767.80 | EOW, EC, BC |
| 81 | 215.59 | 640987.09 | 1213765.98 | EOW, MC |
| 82 | 215.60 | 640988.87 | 1213764.79 | EOW, EC |
| 83 | 216.15 | 641005.36 | 1213758.34 | EOW, BC |
| 84 | 216.34 | 641040.03 | 1213751.50 | EOW, MC |
| 85 | 216.53 | 641074.92 | 1213757.14 | EOW, EC |
| 86 | 216.72 | 641111.60 | 1213770.03 | EOW, BC |
| 87 | 216.78 | 641123.66 | 1213772.73 | EOW, MC |
| 88 | 216.84 | 641136.02 | 1213772.53 | EOW, EC |
| 89 | 216.92 | 641145.52 | 1213771.25 | EOW, BC |
| 90 | 216.93 | 641146.32 | 1213771.49 | EOW, MC |
| 91 | 216.94 | 641146.66 | 1213772.32 | EOW, EC |
| 92 | 216.94 | 641151.66 | 1213772.32 | EOW, BC |
| 93 | 216.90 | 641149.61 | 1213767.72 | EOW, MC |
| 94 | 216.88 | 641144.86 | 1213766.30 | EOW, EC |
| 95 | 216.84 | 641139.99 | 1213766.95 | EOW, BC |
| 96 | 216.75 | 641134.77 | 1213766.25 | EOW, MC |
| 97 | 216.66 | 641130.63 | 1213763.00 | EOW, EC, BC |
| 98 | 216.40 | 641118.14 | 1213742.60 | EOW, MC |
| 99 | 215.66 | 641063.56 | 1213675.74 | EOW, BC |
| 100 | 215.48 | 641052.42 | 1213678.74 | EOW, BC |
| 101 | 215.10 | 641023.00 | 1213688.32 | EOW, MC |
| 102 | 215.07 | 641004.84 | 1213713.38 | EOW, EC |
| 103 | 214.99 | 641009.11 | 1213698.21 | EOW, EC |
| 104 | 215.10 | 641025.58 | 1213683.04 | EOW, MC |
| 105 | 215.39 | 641046.85 | 1213676.04 | EOW, BC |
| 106 | 215.09 | 641029.96 | 1213662.77 | EOW, MC |
| 107 | 215.06 | 641027.57 | 1213664.64 | EOW, MC |
| 108 | 214.74 | 641014.72 | 1213646.31 | EOW, EC |
| 109 | 214.66 | 641013.80 | 1213630.58 | EOW, EC |
| 110 | 215.31 | 641042.14 | 1213668.35 | RIM |
| 111 | 214.70 | 641017.76 | 1213635.04 | RIM |
| 112 | 215.28 | 641014.17 | 1213712.17 | RIM |
| 113 | 213.43 | 640960.83 | 1213668.37 | RIM |
| 114 | 216.10 | 641090.87 | 1213654.17 | EOW |
| 115 | 216.07 | 641090.87 | 1213647.59 | EOW, BC |
| 116 | 216.01 | 641087.87 | 1213647.59 | EOW, MC |
| 117 | 215.45 | 641084.60 | 1213622.59 | EOW, MC |
| 118 | 215.27 | 641078.31 | 1213618.19 | EOW, MC |
| 119 | 214.79 | 641067.28 | 1213603.50 | EOW, EC |
| 120 | 214.73 | 641055.08 | 1213600.59 | EOW, EC |
| 121 | 216.36 | 641109.80 | 1213736.31 | EOW, BC |
| 122 | 216.41 | 641086.55 | 1213744.50 | EOW, MC |
| 123 | 216.42 | 641081.05 | 1213745.84 | EOW, MC |
| 124 | 216.53 | 641075.37 | 1213752.01 | EOW, EC |
| 125 | 216.46 | 641065.76 | 1213749.26 | EOW, EC |


Architect:
Garner Miller
MSGS Architects
510 Capitol Way South
Olympia, WA 98501

Engineer:
JMJTEAM
Justin Jones, PE
justin@jmjteam.com
206.596.2020


Project:
Orting Village

Permit Set

ONE INCH AT FULL SCALE. IF NOT, SCALE ACCORDINGLY

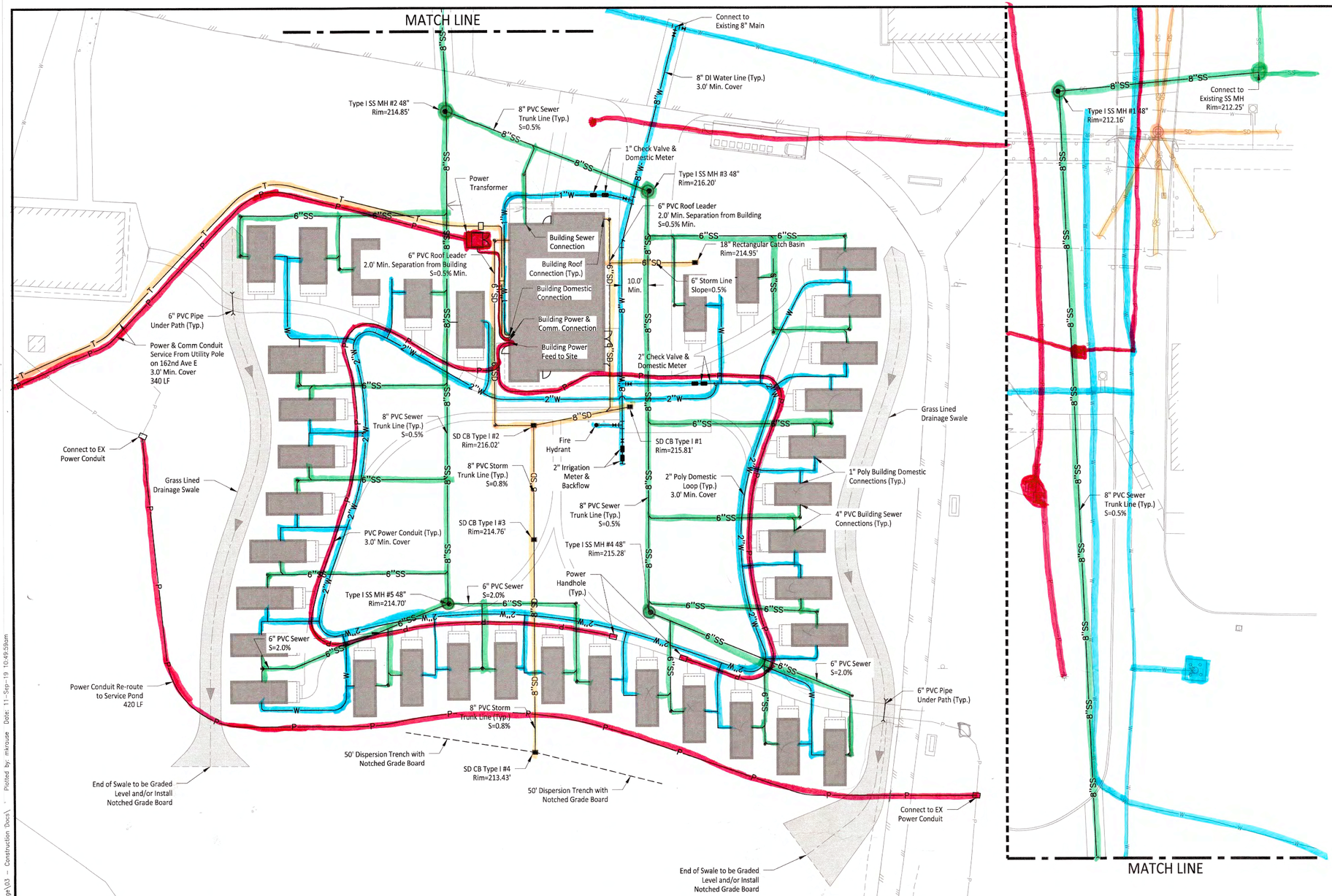
JUSTIN M. JONES — STATE OF WASHINGTON — 41892 — REGISTERED PROFESSIONAL ENGINEER
09/11/19

| REV | DATE | DESCRIPTION |
|---|---|---|
| 1 | 12/20/18 | City Comments |
| 2 | 02/06/19 | City Comments |
| 3 | 05/17/19 | Design Update |
| 4 | 07/19/19 | Permit Set |
| 5 | 08/09/19 | Pricing Set |
| 6 | 09/11/19 | City Comments |

DRAWN BY: I. Harkins | DESIGN BY: J. Jones
PROJ.NO: 1508-010
DATE: September 11, 2019

DWG.
Grading Plan

SHEET NUMBER:
C3-401




## GENERAL NOTES

1. See Sheets C5-101, C5-102, & C5-201 for Storm Drainage Plan, Profile and Details.
2. See Sheets C6-101, C6-102, C6-103 & C6-201 for Sanitary Sewer Plan, Profiles and Details.
3. See Sheets C7-101, C7-102, C7-201 & C7-202 for Water Plan, Profile and Details.
4. See Sheet C8-101 for Power & Communication Plan.

## LEGEND

- 8"SD — 8" Mainline SDR 35 PVC Storm Pipe = 170 LF
- 6"SD — 6" Lateral SDR 35 PVC Storm Pipe = 160 LF
- 8"SS — 8" Mainline SDR 35 PVC Sewer Pipe = 820 LF
- 6"SS — 6" Side-Sewer SDR 35 PVC Pipe = 1180 LF
- 8"W — 8" Mainline Ductile Iron Water Pipe = 170 LF
- 2"W — 2" Polyethylene Water Service Line = 580 LF
- 1"W — 1" Polyethylene Water Service Line = 720 LF
- P — Underground Power Conduit
- T — Underground Communication Conduit

0 20 40 Feet

CALL TWO BUSINESS DAYS BEFORE YOU DIG
1-800-424-5555
UTILITIES UNDERGROUND LOCATION CENTER


Architect:
Garner Miller
MSGS Architects
510 Capitol Way South
Olympia, WA 98501

Engineer:
JMJTEAM
Justin Jones, PE
justin@jmjteam.com
206.596.2020


Project:
Orting Village
Permit Set

ONE INCH AT FULL SCALE. IF NOT, SCALE ACCORDINGLY

JUSTIN M. JONES STATE OF WASHINGTON 21020 REGISTERED PROFESSIONAL ENGINEER
09/11/19

| REV | DATE | DESCRIPTION |
|---|---|---|
| 1 | 12/20/18 | City Comments |
| 2 | 02/06/19 | City Comments |
| 3 | 05/17/19 | Design Update |
| 4 | 07/19/19 | Permit Set |
| 5 | 08/09/19 | Pricing Set |
| 6 | 09/11/19 | City Comments |

DRAWN BY: I. Harkins | DESIGN BY: J. Jones
PROJ. NO: 1508-010
DATE: September 11, 2019

DWG:
Composite Utility Plan

SHEET NUMBER:
C4-101


## CONSTRUCTION NOTES

1. Grass Lined Drainage Swale centerline to be constructed approximately 6.0' from edge of Housing Units. See Detail A on Sheet C5-201.
2. Flow Dispersion Trench per Detail C on Sheet C5-201.
3. Community Building Roof Connections to be installed per Detail E on Sheet C5-201.

## GENERAL NOTES

1. Pipe Trench Backfill per Detail B on Sheet C5-201.
2. Storm Sewer Mains to be 6 or 8 inch SDR 35 PVC Pipe.
3. Catch Basins Per City of Orting Std. Detail D-2A.
4. Storm Cleanouts to be installed per Detail F on Sheet C5-201.

0 10 20 40 Feet

CALL TWO BUSINESS DAYS BEFORE YOU DIG
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UTILITIES UNDERGROUND LOCATION CENTER


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MSGS Architects
510 Capitol Way South
Olympia, WA 98501

Engineer:
JMJTEAM
Justin Jones, PE
justin@jmjteam.com
206.596.2020


Project:
Orting Village

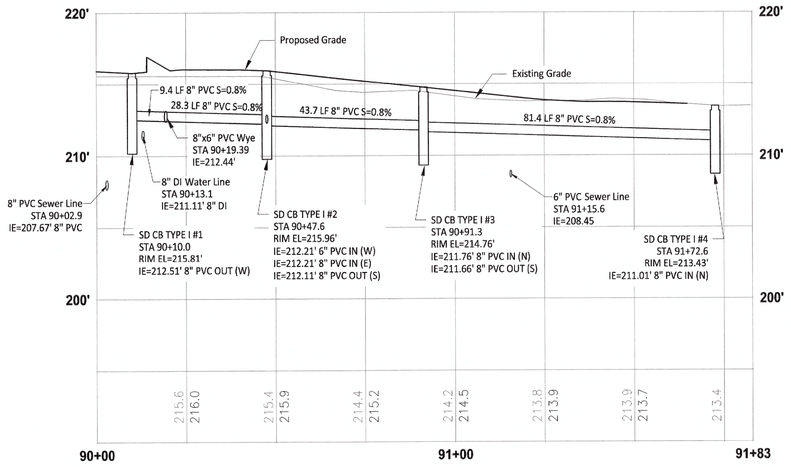
Permit Set

ONE INCH AT FULL SCALE.
IF NOT, SCALE ACCORDINGLY

JUSTIN M. JONES
STATE OF WASHINGTON
41829
REGISTERED
PROFESSIONAL ENGINEER
09/11/19

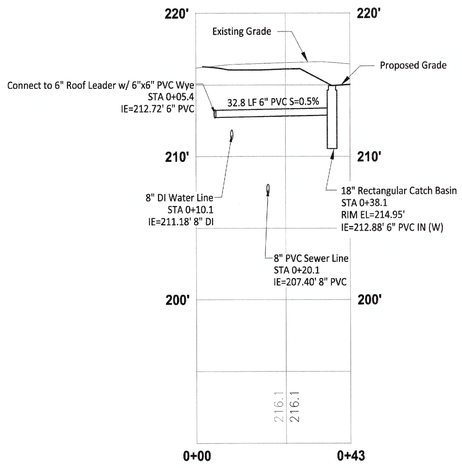
| REV | DATE | DESCRIPTION |
|---|---|---|
| 1 | 12/20/18 | City Comments |
| 2 | 02/06/19 | City Comments |
| 3 | 05/17/19 | Design Update |
| 4 | 07/19/19 | Permit Set |
| 5 | 08/09/19 | Pricing Set |
| 6 | 09/11/19 | City Comments |

DRAWN BY: I. Harkins
DESIGN BY: J. Jones
PROJ. NO: 1508-010
DATE: September 11, 2019
DWG.
Storm & Drainage Plan
SHEET NUMBER
C5-101




## Alignment E - Profile

HORIZ: 1" = 20'
VERT: 1" = 5'




## Alignment G - Profile

HORIZ: 1" = 20'
VERT: 1" = 5'

CALL TWO BUSINESS DAYS
BEFORE YOU DIG
1-800-424-5555
UTILITIES UNDERGROUND LOCATION CENTER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Garner Miller
MSGS Architects
510 Capitol Way South
Olympia, WA 98501

Engineer:
JMJTEAM
Justin Jones, PE
justin@jmjteam.com
206.596.2020


Project:
Orting Village

Permit Set

ONE INCH AT FULL SCALE.
IF NOT, SCALE ACCORDINGLY

JUSTIN M. JONES
STATE OF WASHINGTON
41829
REGISTERED
PROFESSIONAL ENGINEER

09/11/19

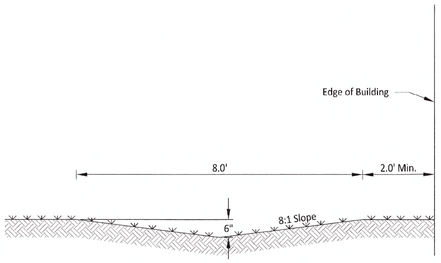
| REV | DATE | DESCRIPTION |
|---|---|---|
| 1 | 12/20/18 | City Comments |
| 2 | 02/06/19 | City Comments |
| 3 | 05/17/19 | Design Update |
| 4 | 07/19/19 | Permit Set |
| 5 | 08/09/19 | Pricing Set |
| 6 | 09/11/19 | City Comments |

| DRAWN BY: | DESIGN BY: |
|---|---|
| I. Harkins | J. Jones |

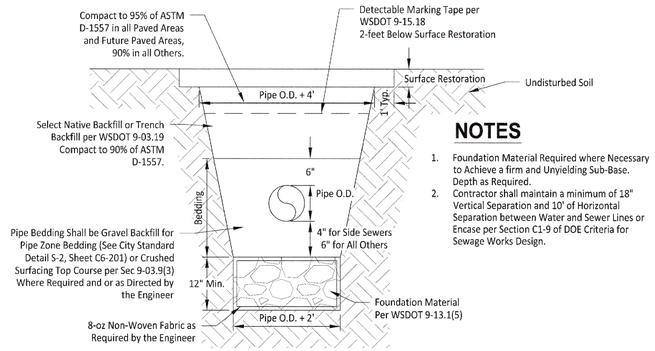
PROJ. NO: 1508-010
DATE: September 11, 2019

DWG
Storm Profiles

SHEET NUMBER
C5-102



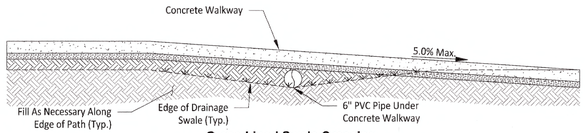

**Grass Lined Swale**
**Detail** A
1" = 2' C5-201



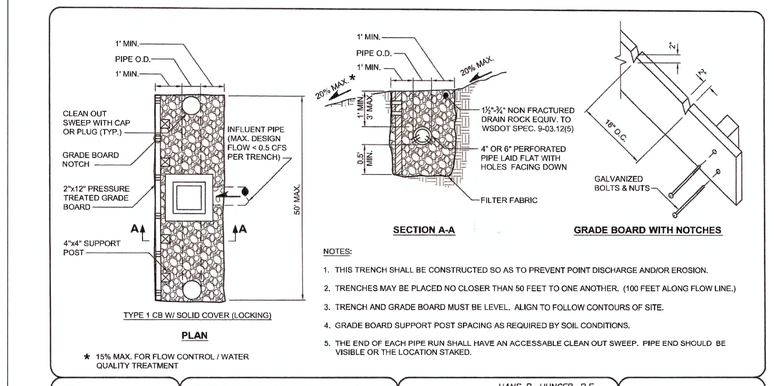

**NOTES**

1. Foundation Material Required where Necessary to Achieve a firm and Unyielding Sub-Base. Depth as Required.
2. Contractor shall maintain a minimum of 18" Vertical Separation and 10' of Horizontal Separation between Water and Sewer Lines or Encase per Section C1-9 of DOE Criteria for Sewage Works Design.

**Sanitary and Storm Sewer Typical Trench Section**
**Detail** C
NTS C5-201




**Grass Lined Swale Crossing**
**Detail** B
1" = 2' C5-201




NOTES:

1. THIS TRENCH SHALL BE CONSTRUCTED SO AS TO PREVENT POINT DISCHARGE AND/OR EROSION.
2. TRENCHES MAY BE PLACED NO CLOSER THAN 50 FEET TO ONE ANOTHER. (100 FEET ALONG FLOW LINE.)
3. TRENCH AND GRADE BOARD MUST BE LEVEL. ALIGN TO FOLLOW CONTOURS OF SITE.
4. GRADE BOARD SUPPORT POST SPACING AS REQUIRED BY SOIL CONDITIONS.
5. THE END OF EACH PIPE RUN SHALL HAVE AN ACCESSABLE CLEAN OUT SWEEP. PIPE END SHOULD BE VISIBLE OR THE LOCATION STAKED.

Pierce County
Public Works
Surface Water Management Division
2702 S 42nd Street, Suite 201
Tacoma, Washington 98409-7322

| DATE | REVISION | APPR'D | DRAWN |
|---|---|---|---|
| 6/2015 | 2015 SWMM UPDATE | HPH | RUTKOSKY |
| 6/2012 | 2012 SWMM UPDATE | HPH | RUTKOSKY |
| 5/2008 | PUBLISH DATE | HPH | RUTKOSKY |

HANS P. HUNGER, P.E.
C.I.P. MANAGER

Surface Water Management Division

FLOW DISPERSION TRENCH
(NOT TO SCALE)
1.0

Storm Water Manual Details - Section A

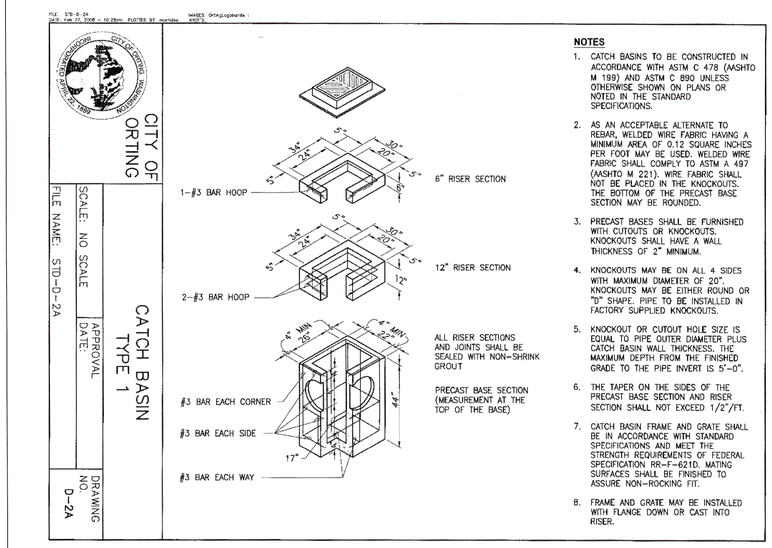
**Flow dispersion Trench**
**Detail** D
NTS C5-201




**Building Roof Downspout Connection**
**Detail** E
1" = 2' C5-201



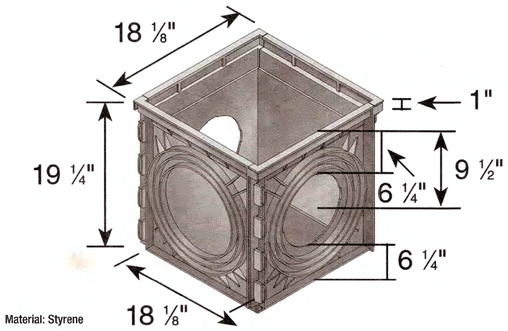

**Storm Cleanout**
**Detail** F
1" = 2' C5-201




NDS™ WE PUT WATER IN ITS PLACE

# TECHNICAL SPECIFICATIONS

## 18" EXPANDABLE CATCH BASIN




Material: Styrene
Weight: 16.00 lbs
Colors: Black

- 18" Expandable Catch Basin with 2 Openings (1800)
  Composed of 2 #1820, 2 #1822, 1 #1828
  Includes 2 #1890 Reducer Rings
- 18" One Piece Catch Basin with 4 Openings (1804)
  Includes 4 #1890 Reducer Rings

Requires either #1206, #1242, #1245, #1266, #1888, or #1889 universal outlet to connect pipe
Connections are soil tight, require water proof silicone to make connections water tight

851 N. Harvard Avenue
Lindsay, CA 93247
800-726-1994

Visit ndspro.com for specs, detail drawings, and case studies

NDS WE PUT WATER IN ITS PLACE

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Architect:
Garner Miller
MSGS Architects
510 Capitol Way South
Olympia, WA 98501

Engineer:
JMJTEAM
Justin Jones, PE
justin@jmjteam.com
206.596.2020


Project:
Orting Village

Permit Set

ONE INCH AT FULL SCALE. IF NOT, SCALE ACCORDINGLY

JUSTIN M. JONES STATE OF WASHINGTON 41828 REGISTERED PROFESSIONAL ENGINEER
09/11/19

| REV | DATE | DESCRIPTION |
|---|---|---|
| 1 | 12/20/18 | City Comments |
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DRAWN BY: I. Harkins
DESIGN BY: J. Jones
PROJ. NO: 1508-010
DATE: September 11, 2019
DWG: Storm Details
SHEET NUMBER: C5-201

MATCH LINE

3 Type I SS MH #2 48"
Rim=214.85'
IE=206.75' 8" PVC IN (S)
IE=206.75' 8" PVC IN (E)
IE=206.65' 8" PVC OUT (N)

1 8" PVC Sewer Line
83 LF S=0.5%

3 Type I SS MH #3 48"
Rim=216.20'
IE=207.27' 8" PVC IN (S)
IE=207.17' 8" PVC OUT (W)

6" PVC Building Sewer Connection

Community Building

2 Side Sewer Connections

1 8" PVC Sewer Line
188.2 LF S=0.5%

1 8" PVC Sewer Line
161.3 LF S=0.5%

4 4" PVC Building Sewer Connections (Typ.)

6" PVC Sewer Line
36.1 LF S=2.0%

3 Type I SS MH #4 48"
Rim=215.28'
IE=208.17' 6" PVC IN (SE)
IE=208.07' 8" PVC OUT (N)

6" PVC Sewer Line
64.2 LF S=2.0%

6" PVC Sewer Line
84.4 LF S=2.0%

Sewer Cleanout
IE=209.32' 6" PVC OUT (E)

6" PVC Sewer Line
12.2 LF S=2.0%

3 Type I SS MH #5 48"
Rim=214.70'
IE=207.79' 6" PVC IN (E)
IE=207.79' 6" PVC IN (SW)
IE=207.69' 8" PVC OUT (N)

Sewer Cleanout
IE=208.77' 6" PVC OUT (E)

Sewer Cleanout
IE=209.86' 6" PVC OUT (E)

Alignment A
Alignment B
Alignment C
Alignment D

30+00 14+00 31+00 15+00 32+00 16+00 16+09 21+00 40+00 32+64 41+00 41+04 20+00

3 Type I SS MH #1 48"
Rim=212.16'
IE=205.03' 8" PVC IN (S)
IE=204.93' 8" PVC OUT (E)

8" PVC Sewer Line
76.7 LF S=0.5%

9.0' Curb Restoration

9.0' AC Pavement Restoration

EX SS MH #1 48"
Rim=212.25'
IE=204.55' 8" PVC IN (W)
IE=204.45' 8" PVC IN (E)
IE=204.45' 8" PVC OUT (N)

10+00 11+00 12+00 13+00

10.0' Sidewalk Restoration

1 8" PVC Sewer Line
323.8 LF S=0.5%

10.0' Curb Restoration

7.0' AC Pavement Restoration

MATCH LINE

## CONSTRUCTION NOTES

1. Sanitary Sewer Mains to be 8" SDR 35 PVC Pipe and maintain minimum 3' cover where possible. Sewer Mainlines to maintain minimum 0.5% Slope.
2. Side Sewer Service Stubs to be 6" SDR 35 PVC Pipe and maintain minimum 4' cover where possible. 6" Sewer Lines to maintain minimum 2.0% Slope, 4" Sewer Lines to maintain minimum 2.0% slope. See Details A thru C on Sheet C6-201.
3. Sanitary Sewer Manholes to be installed per City of Orting Std. Detail S-3A.
4. Side Sewer Services to be installed per Details A through C on Sheet C6-201.

## LEGEND

8"SS — 8" Mainline SDR 35 PVC Pipe

6"SS — 6" Side-Sewer SDR 35 PVC Pipe

0 20 40 Feet

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justin@jmjteam.com
206.596.2020


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Orting Village
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STATE OF WASHINGTON
41029
REGISTERED PROFESSIONAL ENGINEER
09/11/19

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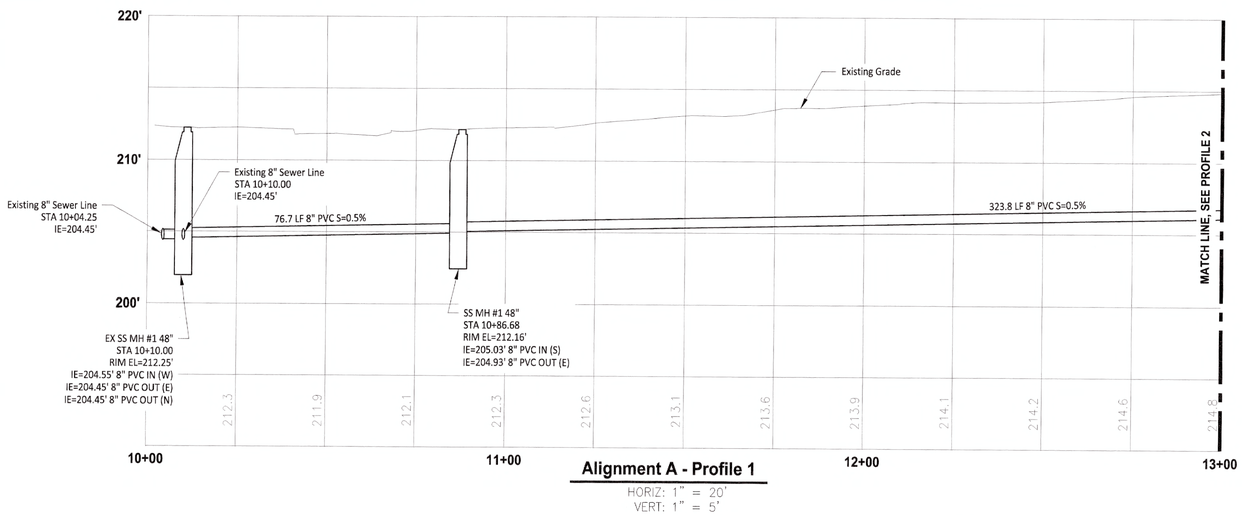
DRAWN BY: I. Harkins
DESIGN BY: J. Jones
PROJ. NO: 1508-010
DATE: September 11, 2019

DWG:
Composite Sanitary Sewer Plan

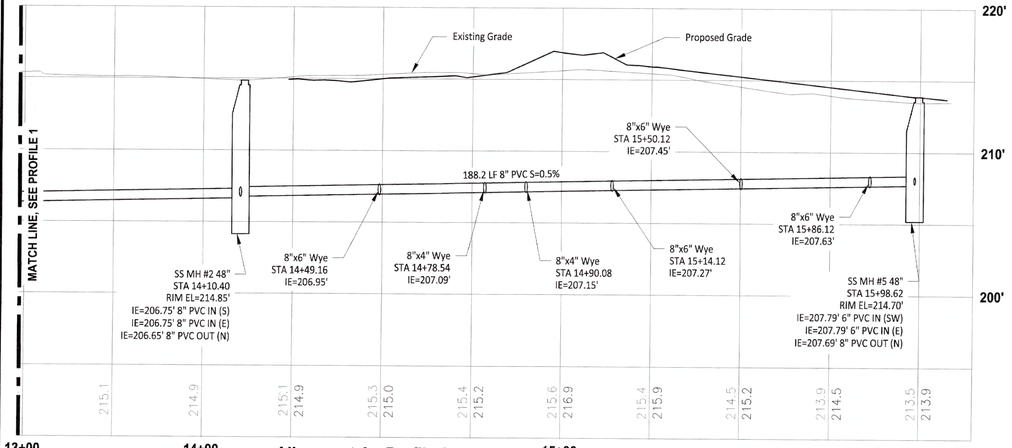
SHEET NUMBER
C6-101


Path: J:\1508 - MSGS Architects\1508-010 Orting Village\03 - Construction Docs\ Plotted by: mkrause Date: 11-Sep-19 11:03:02am
File: 1508010C-UT-SSWR.dwg



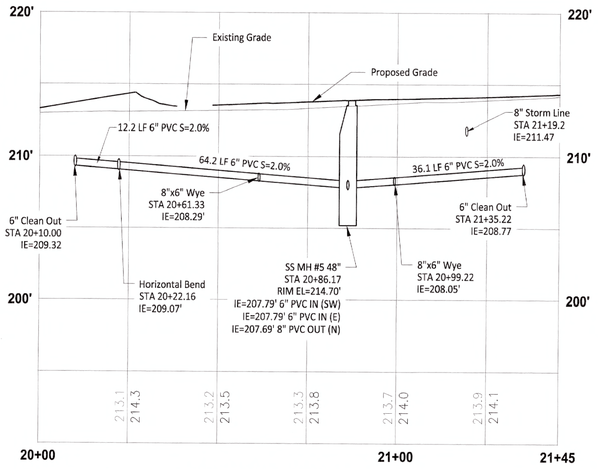

## Alignment A - Profile 1

HORIZ: 1" = 20'
VERT: 1" = 5'




## Alignment A - Profile 2

HORIZ: 1" = 20'
VERT: 1" = 5'




## Alignment B - Profile

HORIZ: 1" = 20'
VERT: 1" = 5'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Olympia, WA 98501

Engineer:
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Justin Jones, PE
justin@jmjteam.com
206.596.2020


Project:
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DRAWN BY: I. Harkins
DESIGN BY: J. Jones

PROJ. NO. 1508-010

DATE: September 11, 2019

DWG
Sanitary Sewer Profiles

SHEET NUMBER
C6-102

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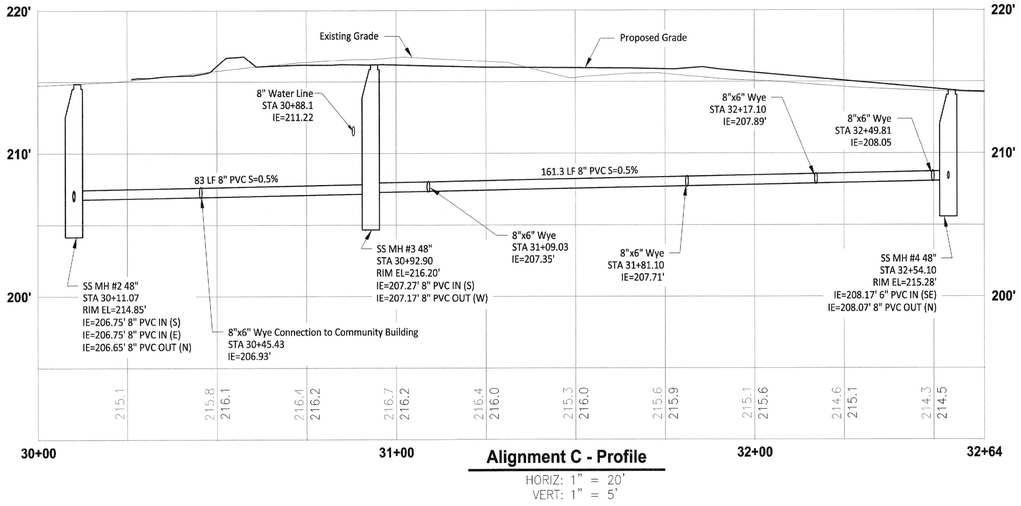
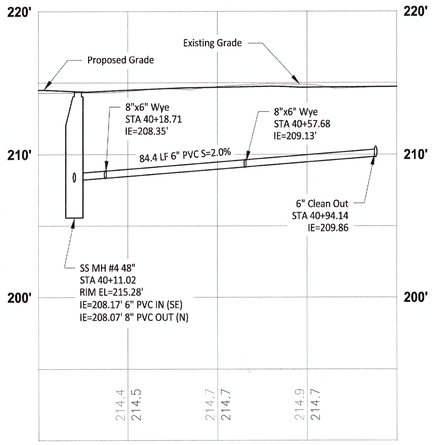



## Alignment C - Profile

HORIZ: 1" = 20'
VERT: 1" = 5'




## Alignment D - Profile

HORIZ: 1" = 20'
VERT: 1" = 5'

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Garner Miller
MSGS Architects
510 Capitol Way South
Olympia, WA 98501

Engineer:
JMJTEAM
Justin Jones, PE
justin@jmjteam.com
206.596.2020


Project:
Orting Village

Permit Set

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IF NOT, SCALE ACCORDINGLY

JUSTIN M. JONES
STATE OF WASHINGTON
21829
REGISTERED
PROFESSIONAL ENGINEER
09/11/19

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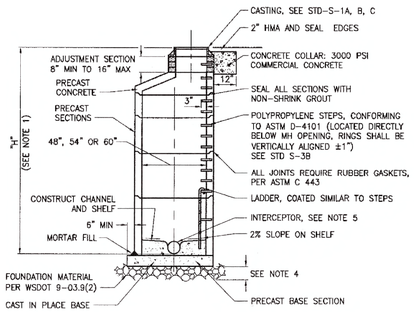
DRAWN BY: I. Harkins
DESIGN BY: J. Jones

PROJ NO: 1508-010
DATE: September 11, 2019

DWG:
Sanitary
Sewer Profiles

SHEET NUMBER:
C6-103




**NOTES**

1. WHEN "H" IS LESS THAN 8' USE TYPE III MANHOLE, SEE WSDOT STD PLAN B-23c.
2. WHEN 'H' IS GREATER THAN 20', MANHOLE SHALL BE 60" DIAMETER.
3. WALL OPENING REQUIREMENTS FOR PIPE, SEE WSDOT STD PLAN B-23a & B-23c.
4. FOUNDATION MATERIAL SHALL BE 6" MIN OR AS REQUIRED TO ACHIEVE A FIRM AND UNYIELDING SUB-BASE.
5. USE KOR-N-SEAL BOOT OR OTHER APPROVED WATER TIGHT FLEXIBLE BOOT.
6. MANHOLES SHALL BE SEALED WITH TAMOSEAL CEMENT BASED WATERPROOF FINISH OR APPROVED EQUAL.

CITY OF ORTING

# TYPE 1 MANHOLE

| SCALE: NO SCALE | APPROVAL DATE: | DRAWING NO. S-3A |
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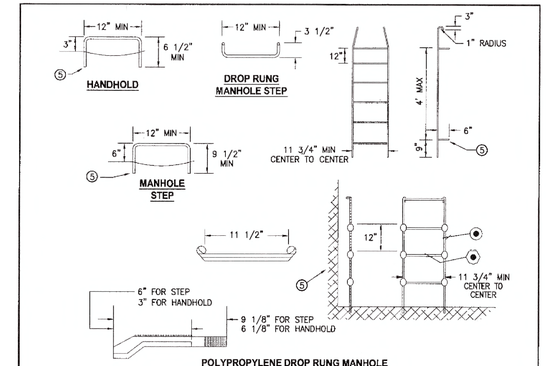
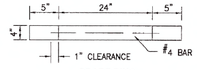
| FILE NAME: STD-S-3A | | |




**POLYPROPYLENE DROP RUNG MANHOLE STEP AND PREFABRICATED LADDER**

**NOTES**

1. MANHOLE STEPS CONFORMING TO SECTION R, ASTM C-478. AASHTO M-199 REQUIREMENTS AND REQUIREMENTS OF ASTM D-4101 FOR POLYPROPYLENE AND ASTM A-615 FOR 1/2" GRADE 60 DEFORMED REINFORCING BAR FOR POLYPROPYLENE STEPS, AND ALL WISHA AND OSHA SPECIFICATIONS, ARE ACCEPTABLE PROVIDED THEY ARE PRE-APPROVED BY THE DIRECTOR OF PUBLIC WORKS.
2. DROP RUNG STEPS ARE TO BE #8 GALVANIZED DEFORMED REBAR.
3. PREFABRICATED LADDERS ARE TO BE #7 GALVANIZED SMOOTH STEEL.
4. MANHOLE PREFABRICATED LADDER STEPS SHALL BE PARALLEL OR APPROXIMATELY RADIAL AT THE OPTION OF THE MANUFACTURER, EXCEPT THAT ALL STEPS IN ANY MANHOLE SHALL BE THE SAME.
5. PENETRATION OF OUTER WALL BY A STEP LADDER OR LADDER LEG IS PROHIBITED.




**GRADE RING**

CITY OF ORTING

# MANHOLE RING AND SAFETY STEPS

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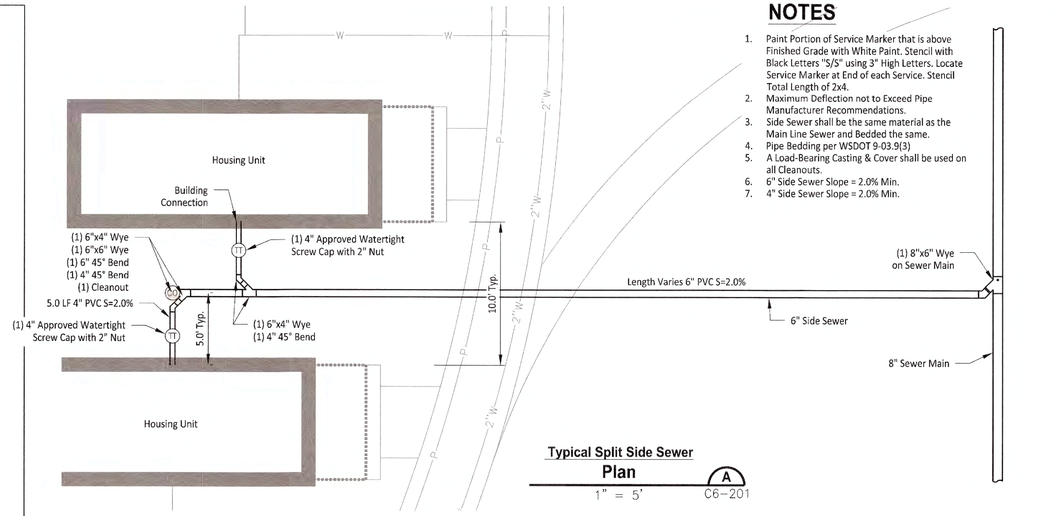
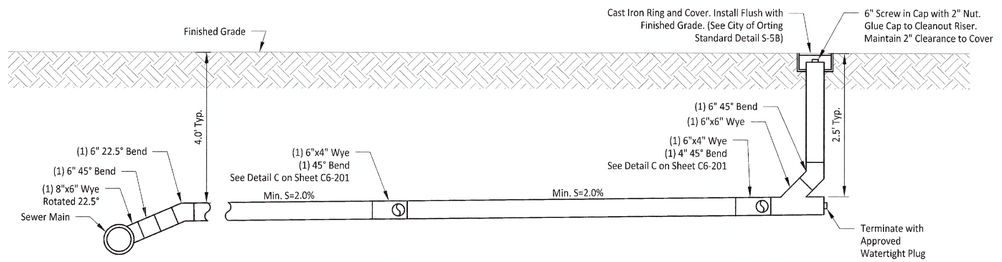
|---|---|---|
| FILE NAME: STD-S-3B | | |



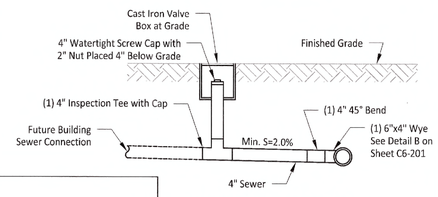

## NOTES

1. Paint Portion of Service Marker that is above Finished Grade with White Paint. Stencil with Black Letters "S/S" using 3" High Letters. Locate Service Marker at End of each Service. Stencil Total Length of 2x4.
2. Maximum Deflection not to Exceed Pipe Manufacturer Recommendations.
3. Side Sewer shall be the same material as the Main Line Sewer and Bedded the same.
4. Pipe Bedding per WSDOT 9-03.9(3)
5. A Load-Bearing Casting & Cover shall be used on all Cleanouts.
6. 6" Side Sewer Slope = 2.0% Min.
7. 4" Side Sewer Slope = 2.0% Min.

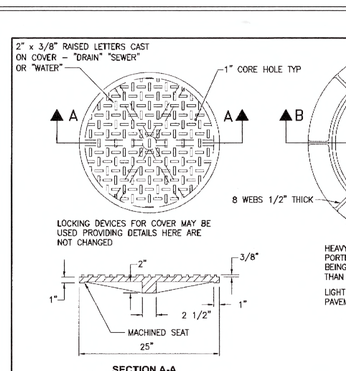
**Typical Split Side Sewer**
**Plan** A
1" = 5' C6-201




**Typical Split Side Sewer**
**Elevation** B
1" = 2' C6-201




**Typical Split Side Sewer**
**Elevation** C
1" = 2' C6-201




**SECTION A-A**

DUCTILE IRON NON-LOCKING COVER
MIN WEIGHT - 150 LBS

**SECTION B-B**

GRAY IRON FRAME MINIMUM WEIGHT - 207 LBS

**NOTES**

1. RING AND COVER CASTINGS SHALL CONFORM TO WSDOT SPECIFICATION 9-05.15(1).
2. SEAT OF COVER & FRAME MACHINED.
3. NON-ROCKING FIT FOR MANHOLE COVERS.
4. BREAK ALL SHARP CORNERS WHERE POSSIBLE.
5. CASTING TO BE SHOT BLASTED AND FREE FROM SURFACE SAND AND SCALE.
6. CASTING TO BE SMOOTH, TRUE TO PATTERN, FREE FROM BLOWHOLES, POROSITY, HARD SPOTS, SHRINK HOLES, WARP, OR ANY OTHER DEFECTS WHICH COULD IMPAIR SERVICEABILITY.
7. CASTINGS SHALL BE COATED AS DIRECTED BY THE ENGINEER.
8. OLYMPIC FOUNDRY PART NO. MH 30, MAY SUBSTITUTE OLYMPIC FOUNDRY PART NO. 5920, TYPE "C" LID WITH 1-1" DRILL HOLES OR EQUIVALENT.

CITY OF ORTING

# STANDARD 24" MANHOLE FRAME AND COVER

| SCALE: NO SCALE | APPROVAL DATE: | DRAWING NO. S-1C |
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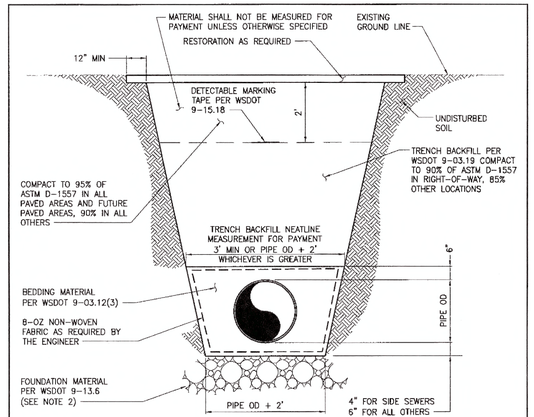
| FILE NAME: STD-S-1C | | |




**NOTES**

1. FOUNDATION MATERIAL REQUIRED WHERE NECESSARY TO ACHIEVE A FIRM AND UNYIELDING SUB-BASE. DEPTH AS REQUIRED.
2. NO NATIVE MATERIAL SHALL BE USED FOR BACKFILL UNLESS APPROVED BY THE CITY ENGINEER IN WRITING.
3. SEWER MAIN AND LATERAL INSTALLATIONS SHALL BE VIDEO INSPECTED. SEE SPECIAL PROVISIONS FOR REQUIREMENTS.
4. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 18" OF VERTICAL SEPARATION AND 10' OF HORIZONTAL SEPARATION BETWEEN WATER AND SEWER LINES OR ENCASE PER SECTION C1-9 OF DOE CRITERIA FOR SEWAGE WORKS DESIGN.

CITY OF ORTING

# SANITARY SEWER OR STORM TRENCH

| SCALE: NO SCALE | APPROVAL DATE: | DRAWING NO. S-2 |
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| FILE NAME: STD-S-2 | | |

CITY OF ORTING

SIDE SEWER CLEANOUT

| SCALE: NO SCALE | APPROVAL DATE: | DRAWING NO. S-5B |
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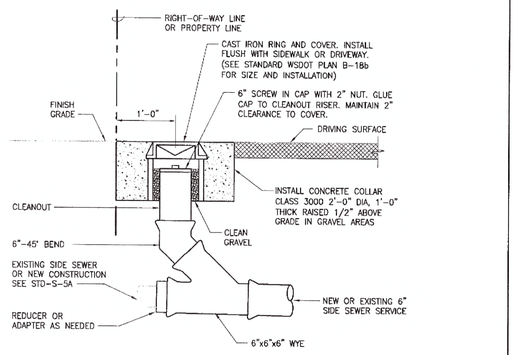
| FILE NAME: STD-S-5B | | |

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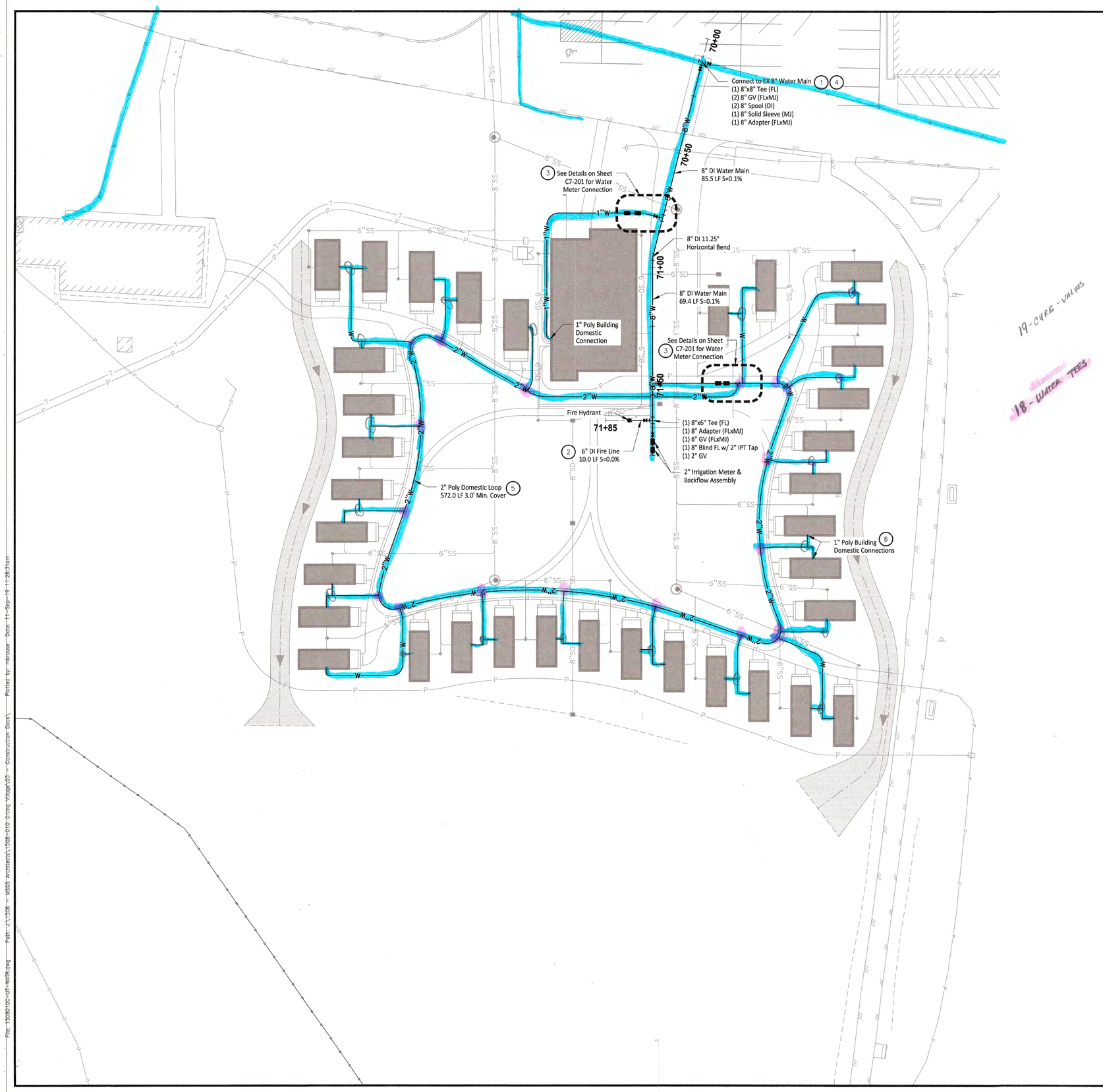
DRAWN BY: I. Harkins | DESIGN BY: J. Jones
PROJ NO: 1508-010
DATE: September 11, 2019
DWG: Sanitary Sewer Details
SHEET NUMBER: C6-201




19 - CURB - VALVES

18 - WATER - TEES

## CONSTRUCTION NOTES

1. Water Service to Site to be 8" DI from existing 8" water main.
2. Fire Line to be 6" DI Service to Fire Hydrant Assembly.
   - Fire Hydrant Assembly to be installed per City of Orting Std. Details W-4A and W-4B.
3. Water Meters to be installed per City of Orting Std. Detail W-2A & W3.
4. Water Main Tap to be installed per City of Orting Std. Detail W-15 and include Thrust Blocking & Sleeving per City of Orting Std. Detail W-9.
5. Interior Looped Water Main to be 2" SIDR 7 Poly Pipe and maintain minimum 3' cover.
6. Water Service Lines to be 1" SIDR 7 Poly Pipe and maintain minimum 3' cover. See Details A1, A2, and A3 on Sheet C7-201 for installation.

## GENERAL NOTES

1. Thrust Blocking to be installed per City of Orting Std. Detail W-8.
2. See Sheet C7-102 for 8" DI Water Profile.

## LEGEND

- 8"W — 8" Class 50 DI Pipe
- 6"W — 6" Class 50 DI Pipe
- 2"W — 2" Polyethelene Pipe
- 1"W — 1" Polyethelene Pipe

0 5 10 20 40 Feet

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PROJ. NO: 1508-010
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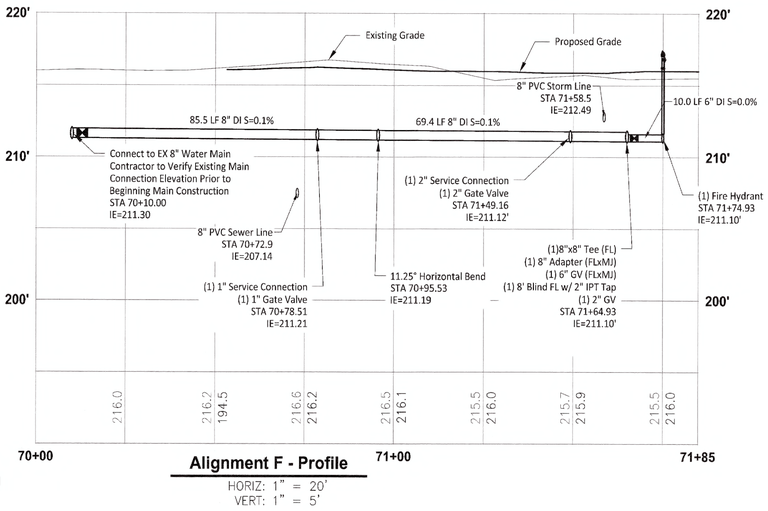
Project:
Orting Village
Permit Set

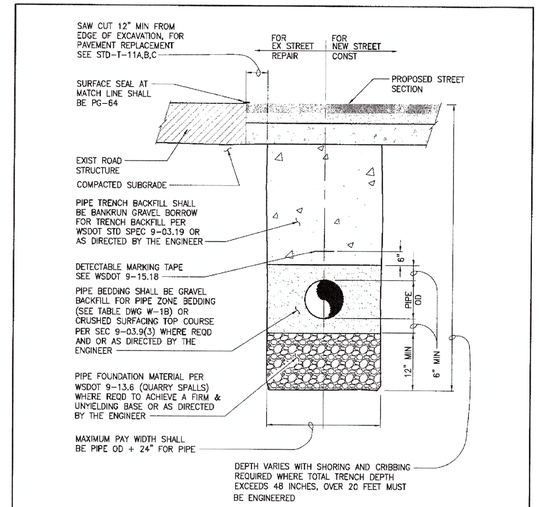
DWG.
Composite Water Plan

SHEET NUMBER
C7-101




## Alignment F - Profile

HORIZ: 1" = 20'
VERT: 1" = 5'




**NOTES**

1. ALL BACKFILL SHALL BE COMPACTED TO 95% OPTIMUM DENSITY.
2. FOR PIPE COVER LESS THAN 36", PIPE TRENCH BACKFILL SHALL BE CRUSHED SURFACING TOP COURSE PER SECTION 9-03.9(3).
3. THIS DETAIL IS GENERALLY USED WHEN TRENCH RUNS PARALLEL WITH PAVED OR PROPOSED ROADWAY.
4. ALL WATER MAIN SHALL BE MECHANICALLY RESTRAINED.

CITY OF ORTING

## TYPICAL TRENCH AND BEDDING SECTION FOR DIP WATERMAIN

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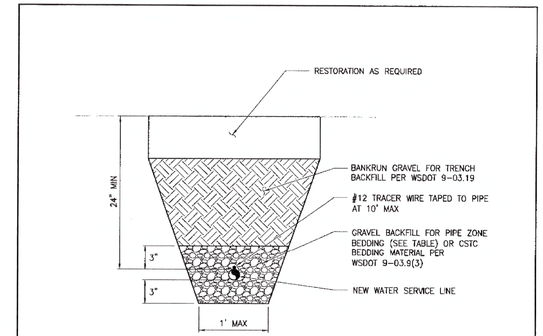
|---|---|---|
| FILE NAME: STD-W-1A | | |



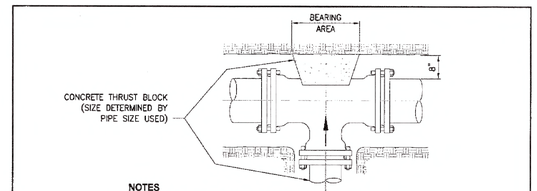

**GRAVEL BACKFILL FOR PIPE ZONE BEDDING**

| SIEVE SIZE | PERCENT PASSING |
|---|---|
| ¾" SQUARE | 100 |
| ⅜" SQUARE | 95–100 |
| U.S. NUMBER 8 | 0–10 |
| U.S. NUMBER 200 | 0–3 |
| SAND EQUIVALENT | 35 MINIMUM |

CITY OF ORTING

## WATER SERVICE AND BEDDING WITHIN RIGHT-OF-WAY

| SCALE: NO SCALE | APPROVAL DATE: | DRAWING NO. W-1B |
|---|---|---|
| FILE NAME: STD-W-1B | | |




**NOTES**

1. BLOCK HEIGHT SHALL BE EQUAL OR LESS THAN ONE HALF OF TOTAL DEPTH FROM GROUND SURFACE TO BLOCK BASE.
2. BLOCK SIZE BASED ON 225 PSI TEST PRESSURE.
3. WRAP FITTINGS WITH POLYETHYLENE PLASTIC BEFORE POURING CONCRETE THRUST BLOCK.
4. SEE STD-W-8 FOR PLACING OF THRUST BLOCKS.

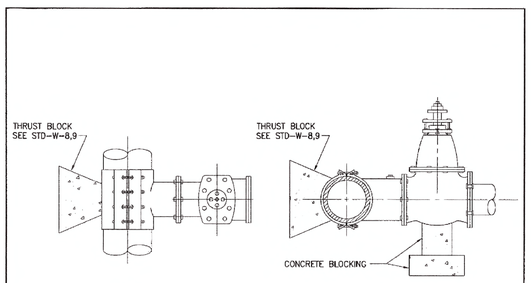
| FITTING SIZE (INCHES) | BEARING AREA OF BLOCK IN SQUARE FEET | | | | |
|---|---|---|---|---|---|
| | TEES & PIPE ENDS | 90° BEND | 45° BEND | 22 1/2° BEND | 11 1/4° BEND |
| | 1000 PSF SOIL BEARING STRENGTH | | | | |
| 3 | 1.6 | 2.3 | 1.3 | 1.0 | 1.0 |
| 4 | 2.8 | 4.0 | 2.2 | 1.1 | 1.0 |
| 6 | 6.4 | 9.0 | 4.9 | 2.5 | 1.2 |
| 8 | 11.3 | 16.0 | 8.7 | 4.5 | 2.3 |
| 10 | 17.7 | 25.0 | 13.6 | 6.9 | 3.5 |
| 12 | 25.4* | 36.0* | 19.5 | 10.0 | 5.0 |
| 14 | 34.6* | 49.0* | 26.5* | 13.5 | 7.0 |
| 16 | 45.2* | 64.0* | 34.6* | 17.7 | 8.9 |
| | 2500 PSF SOIL BEARING STRENGTH | | | | |
| 3 | 1.0 | 1.0 | 1.0 | 1.0 | 1.0 |
| 4 | 1.1 | 1.6 | 1.0 | 1.0 | 1.0 |
| 6 | 2.6 | 3.6 | 2.0 | 1.0 | 1.0 |
| 8 | 4.5 | 6.4 | 3.5 | 1.8 | 1.0 |
| 10 | 7.1 | 10.0 | 5.4 | 2.8 | 1.4 |
| 12 | 10.1 | 14.4 | 7.8 | 4.0 | 2.0 |
| 14 | 13.8 | 19.6 | 10.6 | 5.4 | 2.8 |
| 16 | 18.1 | 25.6* | 13.8 | 7.1 | 3.6 |

* MAXIMUM BEARING AREA ALLOWED IS 25 SQ FT; BEARING AREA MAY BE REDUCED BY USING RODS, RESTRAINED JOINT PIPE, OR CONDUCTING SOILS TEST TO CONFIRM HIGHER SOIL BEARING.

CITY OF ORTING

## WATER MAIN BLOCKING

| SCALE: NO SCALE | APPROVAL DATE: | DRAWING NO. W-9 |
|---|---|---|
| FILE NAME: STD-W-9 | | |




**PLAN** **ELEVATION**

**STAINLESS STEEL TAPPING TEE**

**NOTES**

1. TAPPING SLEEVE & VALVE ASSEMBLY TO BE PRE-APPROVED BY THE CITY ENGINEER. PRESSURE TESTING SHALL BE APPROVED BY THE CITY INSPECTOR PRIOR TO TAPPING FOLLOW AWWA/WSDOT REQUIREMENTS FOR DISINFECTION OF TAPPING SLEEVES AND APPURTENANCES (AWWA STD C651).
2. TAPPING SLEEVE SHALL HAVE 18-8 STAINLESS STEEL BODY, STRAPS, FLANGE, NUTS, AND BOLTS. FULL AND OUTLET GASKETS SHALL CONFORM TO ASTM D2000-80M-4AA607.
3. WET TAPS SHALL NOT BE ALLOWED ON SAME SIZE OR SMALLER MAINS.
4. WRAP ALL PIPE AND FITTINGS WITH PLASTIC THAT COME IN CONTACT WITH THRUST BLOCKS.

CITY OF ORTING

## TAPPING SLEEVE & VALVE ASSEMBLIES

| SCALE: NO SCALE | APPROVAL DATE: | DRAWING NO. W-15 |
|---|---|---|
| FILE NAME: STD-W-15 | | |




**NOTES**

1. FITTINGS FLANGED TOGETHER, I.E. VALVES TO TEES ETC., ARE NOT INDICATED FOR CLARITY.
2. REBAR USED IN THRUST BLOCKS SHALL BE ASPHALT TREATED AS FOR SHACKLE RODS.
3. CONCRETE SHALL NOT BE POURED ABOVE THE PIPE SPRINGLINE IN THRUST BLOCKS WITH REBAR.
4. FITTINGS SHALL BE PROTECTED FROM CONCRETE WITH PLASTIC FIRMLY WIRED OR TAPED TO THE FITTINGS.
5. CONCRETE THRUST BLOCKING TO BE POURED AGAINST UNDISTURBED EARTH.
6. KEEP CONCRETE CLEAR OF JOINT AND ACCESSORIES.
7. THE REQUIRED THRUST BEARING AREAS FOR SPECIAL CONNECTIONS ARE SHOWN ENCIRCLED ON THE PLANS;
8. IF NOT SHOWN ON PLANS REQUIRED BEARING AREAS AT FITTING SHALL BE AS PRESSURE(S) ALLOWABLE SOIL BEARING STRESS(ES) STATED IN THE SPECIAL SPECIFICATIONS.
9. BEARING AREAS AND SPECIAL BLOCKING DETAILS SHOWN ON PLANS TAKE PRECEDENCE OVER BEARING AREAS AND BLOCKING DETAILS SHOWN ON THIS STANDARD DETAIL.
10. ALL PIPE FITTINGS & BENDS SHALL HAVE JOINT RESTAINT, MEGA-LUG OR EQUAL. FIELD LOK GASKETS MAY NOT BE USED AT PIPE FITTINGS & BENDS. FIELD LOK GASKETS SHALL BE USED AT ALL PIPE JOINTS.

CITY OF ORTING

## THRUST BLOCKING

| SCALE: NO SCALE | APPROVAL DATE: | DRAWING NO. W-8 |
|---|---|---|
| FILE NAME: STD-W-8 | | |


Architect:
Garner Miller
MSGS Architects
510 Capitol Way South
Olympia, WA 98501

Engineer:
JMJTEAM
Justin Jones, PE
justin@jmjteam.com
206.596.2020


Project:
Orting Village

Permit Set

ONE INCH AT FULL SCALE. IF NOT, SCALE ACCORDINGLY

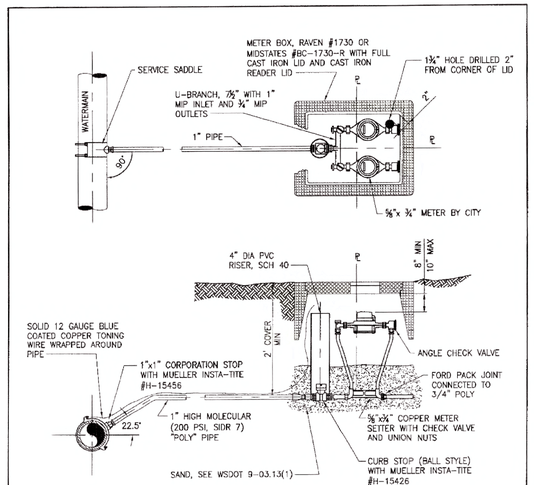
JUSTIN M. JONES — STATE OF WASHINGTON — 41800 — REGISTERED PROFESSIONAL ENGINEER
09/11/19

| REV | DATE | DESCRIPTION |
|---|---|---|
| 1 | 12/20/18 | City Comments |
| 2 | 02/06/19 | City Comments |
| 3 | 05/17/19 | Design Update |
| 4 | 07/19/19 | Permit Set |
| 5 | 08/09/19 | Pricing Set |
| 6 | 09/11/19 | City Comments |

DRAWN BY: I. Harkins
DESIGN BY: J. Jones
PROJ NO: 1508-010
DATE: September 11, 2019

DWG:
Water Profiles

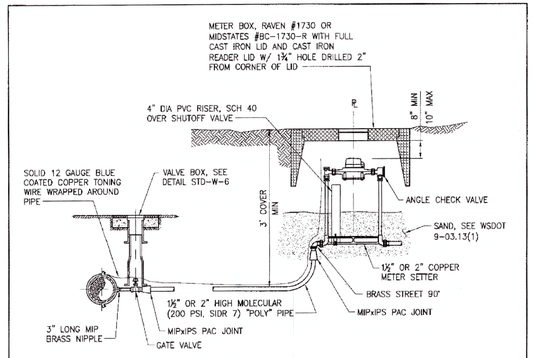
SHEET NUMBER:
C7-102




**NOTES**

1. FOR SINGLE METER SERVICE, SEE NOTE 9, STD-W-2B.
2. SEE STD-W-2B FOR ADDITIONAL DOUBLE & SINGLE METER NOTES.

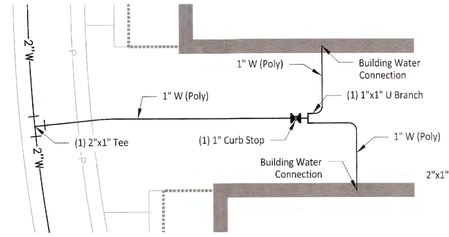
| CITY OF ORTING | 5/8"x3/4" DOUBLE & SINGLE METER SERVICE | | |
|---|---|---|---|
| | SCALE: NO SCALE | APPROVAL DATE: | DRAWING NO. W-2A |
| | FILE NAME: STD-W-2A | | |




**NOTES**

1. THE CONTRACTOR SHALL SUPPLY AND INSTALL METER – T10 PROREAD NEPTUNE AND 6' WIRE WITH RADIO, OR AS SPECIFIED BY CITY.
2. THE WATER METER SHALL BE LOCATED ON THE PROPERTY LINE OR AS DIRECTED BY THE CITY.
3. ALL CONNECTIONS AND FITTINGS SHALL BE SAME DIAMETER AS METER.
4. ALL CONNECTIONS OF "POLY" PIPING SHALL BE PAC JOINT COUPLINGS W/ INSERT STIFFENERS: 2" FORD #CB6-77-IDR7, 1½" FORD #CB6-66-IDR7 OR APPROVED EQUAL.
5. SERVICE SADDLE: ROMAC 202ES OR FORD FS202. ALL SERVICE SADDLES SHALL HAVE RUBBER GASKET AND IP THREADS.
6. GATE VALVE: 2" AWWA RESILIENT SEATED WEDGE FIPxFIP CI W/ 2" OPERATING NUT. 1½" WATER SERVICES SHALL USE 2" GATE VALVE AND INSERT A BRASS BUSHING TO REDUCE 2" OPENING TO 1½".
7. METER SETTER: 2" FORD VBH77-18B-44-77, 1½" FORD V3H76-18B-44-66 OR APPROVED EQUAL.

| CITY OF ORTING | 1 1/2" & 2" METER SERVICE | | |
|---|---|---|---|
| | SCALE: NO SCALE | APPROVAL DATE: | DRAWING NO. W-3 |
| | FILE NAME: STD-W-3 | | |

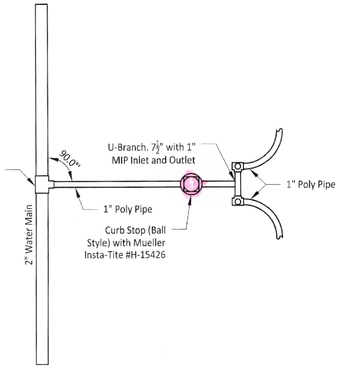



**1" Double Meter Service Plan** — A1 — C7-201

1" = 5'

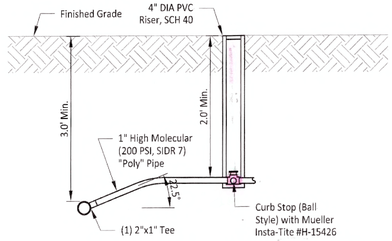
**NOTES**

1. All Connections of "Poly" Piping shall be Insta-Tite
2. Curb Stop: Ford B-11-444, AYMCDONALD 6101-1in, Mueller B-20283.
3. U-Branch: Ford U-88-43, AYMCDONALD 08UMM, Mueller H15364.
4. For Single Service, Substitute U-Branch with 1"x1" Bushing.



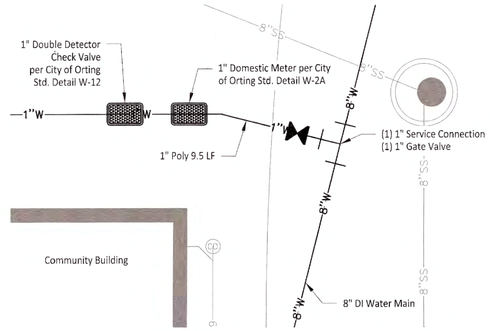

**1" Double Meter Service Detail** — A2 — C7-201

NTS



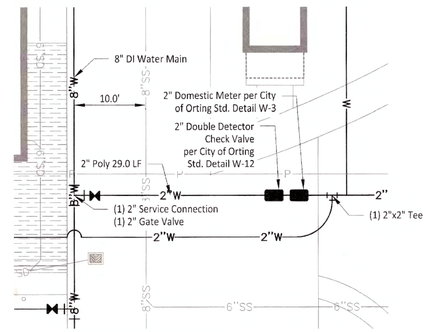

**1" Double Meter Service Detail** — A3 — C7-201

NTS



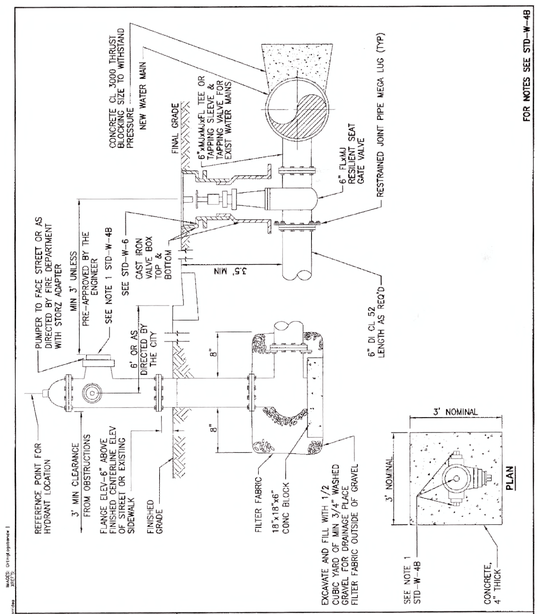

**1" Water Service Connection Detail** — B — C7-201

1" = 5'




**2" Water Service Connection Detail** — C — C7-201

1" = 5'

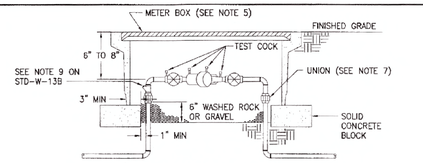



| CITY OF ORTING | STANDARD FIRE HYDRANT | | |
|---|---|---|---|
| | SCALE: NO SCALE | APPROVAL DATE: | DRAWING NO. W-4A |
| | FILE NAME: STD-W-4A | | |

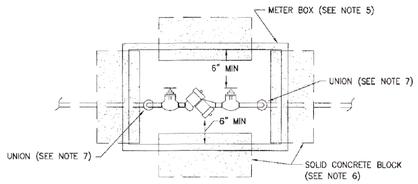
**NOTES**

1. FIRE HYDRANT SHALL BE A CENTER OPERATING VALVE SUCH AS M&H, DRESSER, CLOW MEDALLION OR APPROVED EQUIVALENT MEETING AWWA STDS C502. ALL OPERATING NUTS SHALL BE 1 1/4" PENTAGONAL.
2. PAINT HYDRANTS WITH TWO (2) COATS OF "SIREN RED" SEMI-GLOSS DERUSTO PAINT.
3. ALL HYDRANTS SHALL BE 5 1/2" COMMERCIAL WITH 1-1/4 NTS THREADED PORT WITH 1-5" TWO LUG QUARTER TURN STORTZ OR APPROVED EQUAL PUMPER PORT CONNECTOR AND 2-2½" NST, PUMPER PORT TO FACE STREET OR AS DIRECTED BY FIRE DEPARTMENT.
4. ALL FIRE HYDRANTS SHALL BE LOCATED BEHIND SIDEWALK OR AS SHOWN ON PLANS. THE PORT CAP SHALL NOT BE OVER THE SIDEWALK.
5. WHEN FIRE HYDRANTS FALL BEHIND DITCH LINE, PLACE CULVERT IN DITCH FOR MIN OF 10' & BACKFILL WITH CRUSHED SURFACING. RIPRAP ENDS AS NEEDED FOR EROSION CONTROL.
6. NO HYDRANT SHALL BE INSTALLED LESS THAN 10 FEET FROM THE EDGE OF A DRIVEWAY APPROACH.
7. FIRE HYDRANT SHALL FACE THE ADJACENT STREET UNLESS DIRECTED OTHERWISE BY CITY OFFICIALS.
8. ALL PIPE AND FITTINGS THAT WILL COME IN CONTACT WITH THRUST BLOCKS SHALL BE WRAPPED IN PLASTIC.
9. THE HOLDING SPOOL SHALL CLASS 52 DUCTILE IRON, MJ TYPE WITH MEGA-LUG CONNECTORS.
10. 3 GUARD POSTS TO BE INSTALLED IN UNPROTECTED AREAS (4' RADIUS).
11. SEE STD-W-4C FOR GUARD POST DETAILS.

| CITY OF ORTING | STANDARD FIRE HYDRANT NOTES | | |
|---|---|---|---|
| | SCALE: NO SCALE | APPROVAL DATE: | DRAWING NO. W-4B |
| | FILE NAME: STD-W-4B | | |




**SECTION VIEW**




**PLAN VIEW**

**NOTES:**

1. DCVA SHALL BE DOH APPROVED AND SHALL BE TESTED, UPON INSTALLATION, BY A WASHINGTON STATE CERTIFIED BACKFLOW ASSEMBLY TESTER, AND THE REPORT FORM SHALL BE RECEIVED BY THE CITY OF ORTING PRIOR TO OCCUPANCY.
2. DCVA INSTALLATION AND MATERIALS SHALL CONFORM TO THE CITY OF ORTING CROSS CONNECTION CONTROL MANUAL.
3. DCVA SHALL BE PLACED IMMEDIATELY DOWNSTREAM OF WATER METER.
4. DCVA SHALL BE PROTECTED FROM FREEZING.
5. METER BOX SHALL BE LARGE ENOUGH TO ALLOW THE MINIMUM SET BACKS ILLUSTRATED ABOVE. METER BOX LID SHALL BE A TRAFFIC METER READER LID WITH H-20 LOADING.
6. METER BOX SHALL BE SUPPORTED BY FOUR 16" X 8" X 4" SOLID CONCRETE BLOCKS.
7. DIELECTRIC UNIONS SHALL BE USED TO SEPARATE DISSIMILAR MATERIALS.

| CITY OF ORTING | 2" AND SMALLER DOUBLE CHECK-VALVE ASSEMBLY | | |
|---|---|---|---|
| | SCALE: NO SCALE | APPROVAL DATE: | DRAWING NO. W-12 |
| | FILE NAME: STD-W-12 | | |

CALL TWO BUSINESS DAYS BEFORE YOU DIG
1-800-424-5555
UTILITIES UNDERGROUND LOCATION CENTER


Architect:
Garner Miller
MSGS Architects
510 Capitol Way South
Olympia, WA 98501

Engineer:
JMJTEAM
Justin Jones, PE
justin@jmjteam.com
206.596.2020


Project:
Orting Village

Permit Set

ONE INCH AT FULL SCALE. IF NOT, SCALE ACCORDINGLY

JUSTIN M. JONES — STATE OF WASHINGTON — 21902 — REGISTERED PROFESSIONAL ENGINEER
09/11/19

| REV | DATE | DESCRIPTION |
|---|---|---|
| 1 | 12/20/18 | City Comments |
| 2 | 02/06/19 | City Comments |
| 3 | 05/17/19 | Design Update |
| 4 | 07/19/19 | Permit Set |
| 5 | 08/09/19 | Pricing Set |
| 6 | 09/11/19 | City Comments |

DRAWN BY: I. Harkins | DESIGN BY: J. Jones

PROJ NO: 1508-010

DATE: September 11, 2019

DWG.
Water Details

SHEET NUMBER
C7-201

File: 1508010C-UT-WATR.dwg Path: J:\1508 - MSGS Architects\1508-010 Orting Village\03 - Construction Docs\ Plotted by: mkrause Date: 11-Sep-19 11:33:54am

EX Old Soldiers Home Building

Handhole for Comm. Cabling

Above Ground 225kVA 208Y/120V Transformer

EX Picnic Structure

Community Building

Building Comm. Connection

Building Power Connection

Service Feed from Building to Site (Typ.)

Underground Comm. Conduit from Existing Pole to Handhole 340 LF

Connect to Existing Power Conduit

Underground Power Conduit from Existing Pole to Transformer 340 LF (1)

Existing PSE Utility Pole

Underground Power Conduit from Community Building to Handhole Vaults 310 LF (1)

12' LED Pedestrian Light (Typ.)

(1) Underground Power Conduit from Community Building to Handhole Vaults 270 LF

Handhole Vault (Typ.) (2)

Power Conduit Re-Route to Service Pond 420 LF

Connect to Existing Power Conduit

## CONSTRUCTION NOTES

1. Power Service Conduit to be PVC Pipe and maintain min. 3.0' of cover from finish grade surface.
2. Handhole vaults to be Fogtite J11 24"x36" Concrete Vault with Diamond Plate Lid.

## GENERAL NOTES

1. See Electrical Plans for Pedestrian Light Fixtures and Locations.
2. See Electrical Plans for Typical Site Power and Communication Services including Conduits Sizes and Vault Locations.

## LEGEND

- Underground Power Conduit Mainline
- Underground Comm. Conduit Mainline
- 12.0' Pedestrian Light

35 GOT

0 20 40 Feet

CALL TWO BUSINESS DAYS BEFORE YOU DIG
1-800-424-5555
UTILITIES UNDERGROUND LOCATION CENTER


Architect:
Garner Miller
MSGS Architects
510 Capitol Way South
Olympia, WA 98501

Engineer:
JMJTEAM
Justin Jones, PE
justin@jmjteam.com
206.596.2020


Project:
Orting Village
Permit Set

ONE INCH AT FULL SCALE. IF NOT, SCALE ACCORDINGLY

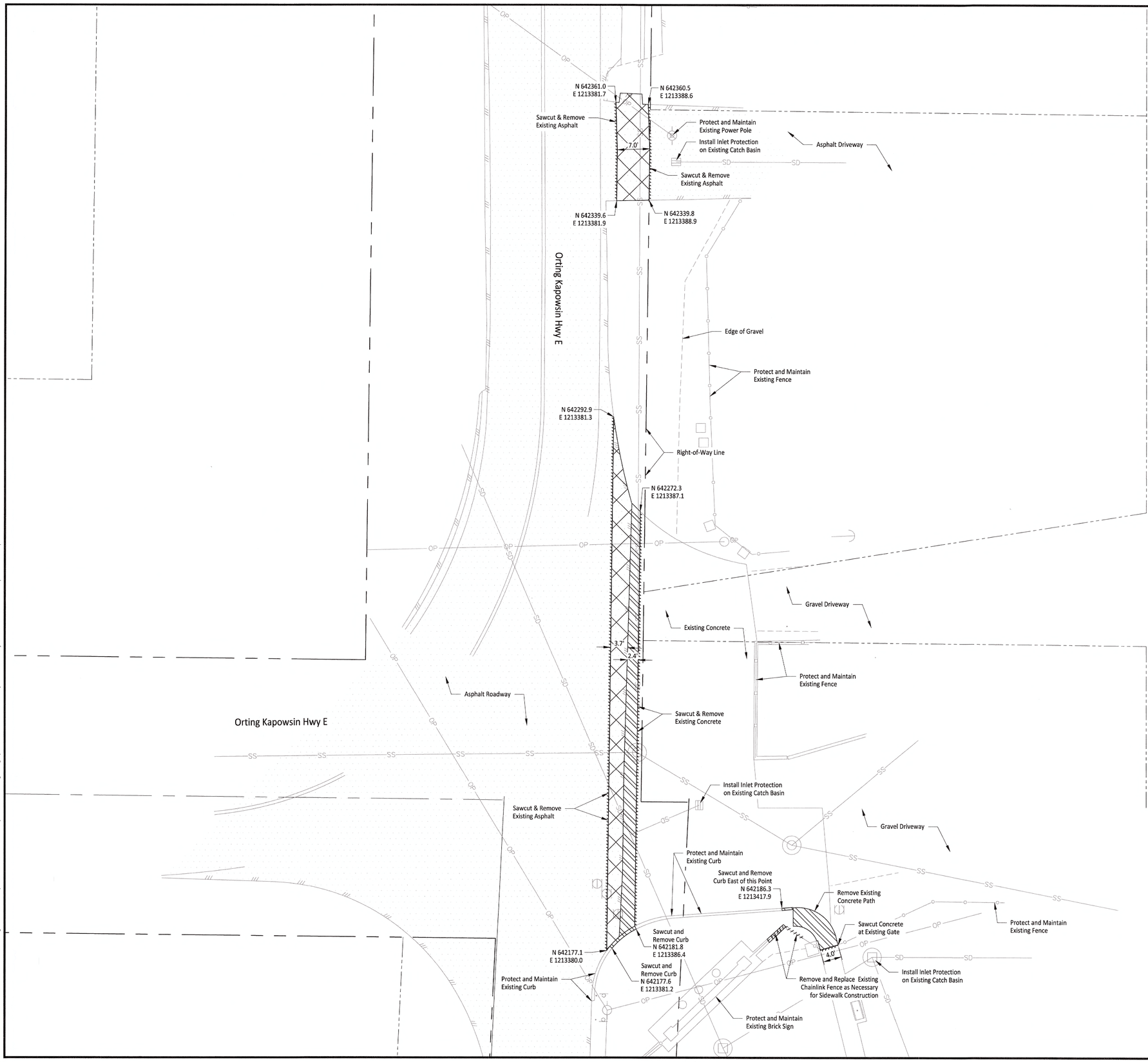
JUSTIN M. JONES STATE OF WASHINGTON 41829 REGISTERED PROFESSIONAL ENGINEER
09/11/19

| REV | DATE | DESCRIPTION |
|---|---|---|
| 1 | 12/20/18 | City Comments |
| 2 | 02/06/19 | City Comments |
| 3 | 05/17/19 | Design Update |
| 4 | 07/19/19 | Permit Set |
| 5 | 08/09/19 | Pricing Set |
| 6 | 09/11/19 | City Comments |

DRAWN BY: I. Harkins | DESIGN BY: J. Jones
PROJ. NO: 1508-010
DATE: September 11, 2019

DWG.
Power & Communication Plan

SHEET NUMBER
C8-101




## GENERAL NOTES

1. Contractor to install TESC measures as necessary to ensure stormwater leaving the site is free of settleable solids.
2. Roads shall be cleaned thoroughly as needed to protect stormwater infrastructure and downstream water resources. Sediment shall be removed from roads by shoveling or pickup sweeping and be transported to a controlled sediment disposal area.
3. Install storm drain inlet protection in all existing catch basins within the project vicinity per WSDOT Std Plan I-40.20-00.
4. Install straw bale barriers, wattles, and other necessary TESC measures as necessary.
5. Exposed soils shall be watered as necessary to prevent dust from leaving the site.
6. Contractor to mark clearing limits with lath and flagging.
7. Concrete handling and equipment washing shall be in accordance with DOE BMP C151.
8. Maintain construction entrance and install silt fence as necessary.
9. Keep all heavy equipment off existing soils under LID facilities that have been excavated to final grade to retain the infiltration rate of the soils.
10. Total Asphalt Area to be Removed = 530 SF.
11. Total Concrete Area to be Removed = 300 SF.

## LEGEND

Remove Existing Asphalt

Remove Existing Concrete

Sawcut Existing Pavement

0 10 20 Feet

CALL TWO BUSINESS DAYS BEFORE YOU DIG
1-800-424-5555
UTILITIES UNDERGROUND LOCATION CENTER


Architect:
Garner Miller
MSGS Architects
510 Capitol Way South
Olympia, WA 98501

Engineer:
JMJTEAM
Justin Jones, PE
justin@jmjteam.com
206.596.2020


Project:
Orting Village
Permit Set

ONE INCH AT FULL SCALE.
IF NOT, SCALE ACCORDINGLY

JUSTIN M. JONES
STATE OF WASHINGTON
41829
REGISTERED
PROFESSIONAL ENGINEER
09/11/19

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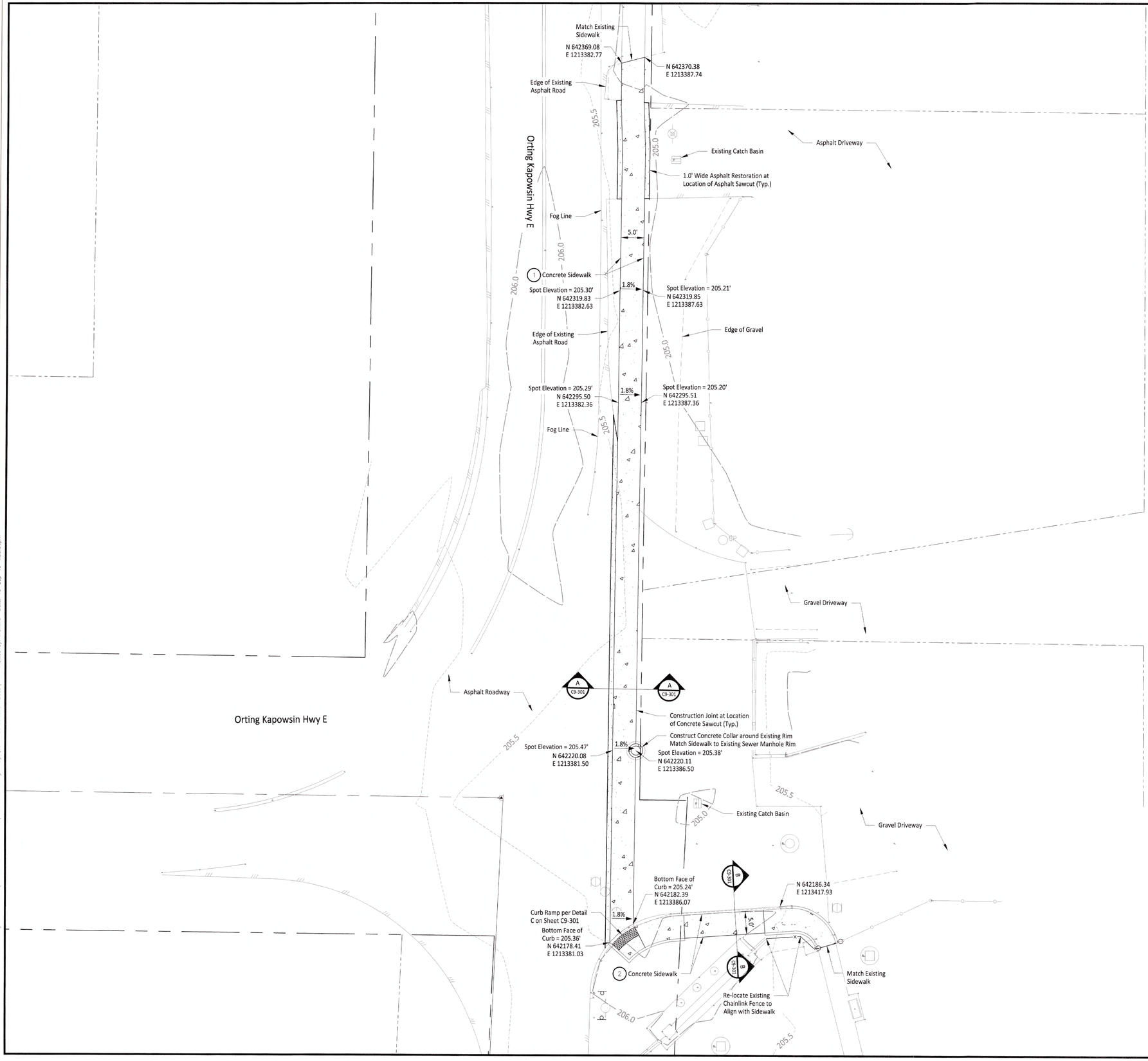
| 6 | 09/11/19 | City Comments |

DRAWN BY: I. Harkins
DESIGN BY: J. Jones
PROJ NO: 1508-010
DATE: September 11, 2019

DWG.
Demolition and Erosion Control Plan

SHEET NUMBER
C9-101




## CONSTRUCTION NOTES

1. Concrete Sidewalk per City of Orting Standard Drawing T-3A. Section to be 6" Concrete over 4" CSBC in area of existing driveways. Sidewalk to be 5.0' wide and have a maximum 2.0% cross slope. See Section A on sheet C9-301.
2. Concrete Sidewalk per City of Orting Standard Drawing T-3A. Section to be 4" Concrete over 4" CSBC in area behind curb line. Sidewalk to be 5.0' wide and have a maximum 2.0% cross slope. See Section B on sheet C9-301. For curb ramp grading see Detail C on sheet C9-301.

## LEGEND

- Existing Concrete
- Existing Asphalt
- Existing Gravel
- Proposed Asphalt Pavement
- Proposed Concrete Pavement

0 10 20 Feet

CALL TWO BUSINESS DAYS BEFORE YOU DIG
1-800-424-5555
UTILITIES UNDERGROUND LOCATION CENTER


Architect:
Garner Miller
MSGS Architects
510 Capitol Way South
Olympia, WA 98501

Engineer:
JMJTEAM
Justin Jones, PE
justin@jmjteam.com
206.596.2020


Project:
Orting Village
Permit Set

ONE INCH AT FULL SCALE. IF NOT, SCALE ACCORDINGLY

JUSTIN M. JONES STATE OF WASHINGTON 41629 REGISTERED PROFESSIONAL ENGINEER
09/11/19

| REV | DATE | DESCRIPTION |
|---|---|---|
| 1 | 12/20/18 | City Comments |
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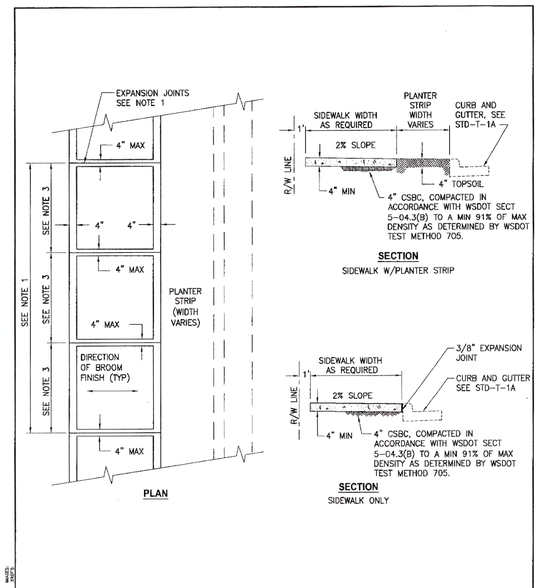
| 6 | 09/11/19 | City Comments |

DRAWN BY: I. Harkins
DESIGN BY: J. Jones
PROJ. NO: 1508-010
DATE: September 11, 2019
DWG: Site Plan
SHEET NUMBER: C9-201

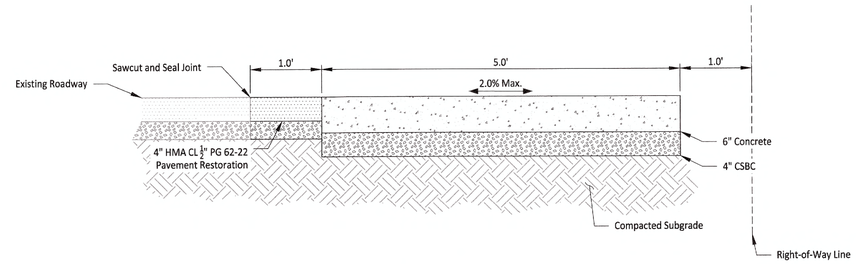



FOR NOTES SEE STD-T-3B

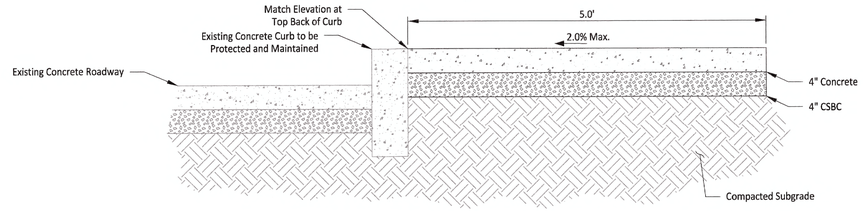
CITY OF ORTING

# SIDEWALK W/PLANTER STRIP

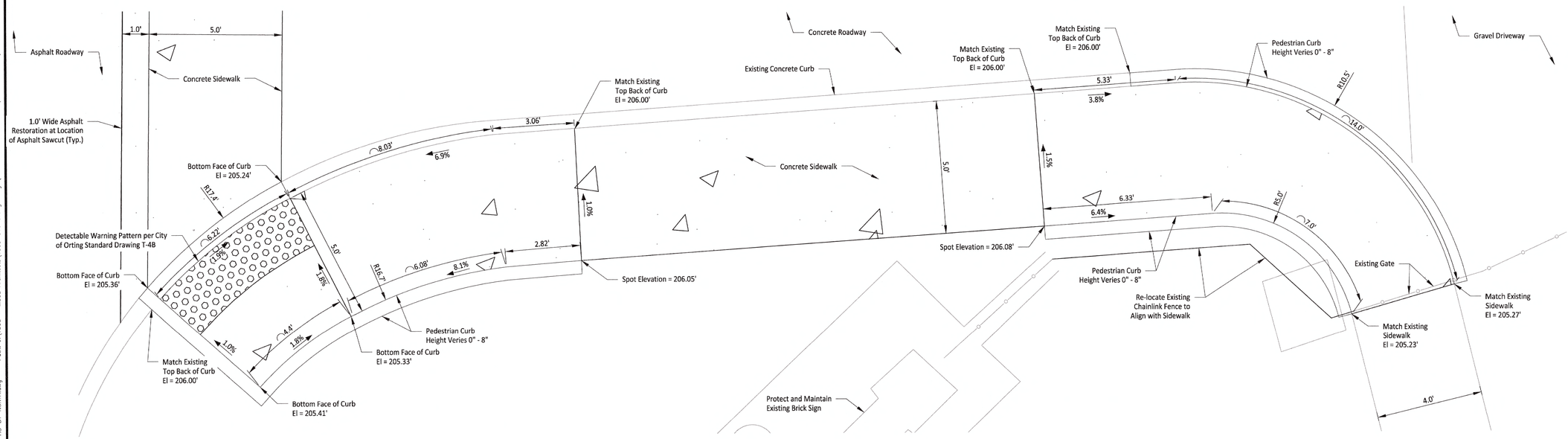
| SCALE: NO SCALE | APPROVAL DATE: | DRAWING NO. T-3A |
|---|---|---|
| FILE NAME: STD-T-3A | | |




**Typical Sidewalk Section** A — 1" = 1' — C9-301




**Typical Sidewalk Section** B — 1" = 1' — C9-301




**Curb Ramp Detail** C — 1" = 2' — C9-301

CALL TWO BUSINESS DAYS BEFORE YOU DIG
1-800-424-5555
UTILITIES UNDERGROUND LOCATION CENTER


Architect:
Garner Miller
MSGS Architects
510 Capitol Way South
Olympia, WA 98501

Engineer:
JMTEAM
Justin Jones, PE
justin@jmjteam.com
206.596.2020


Project:
Orting Village
Permit Set

ONE INCH AT FULL SCALE.
IF NOT, SCALE ACCORDINGLY

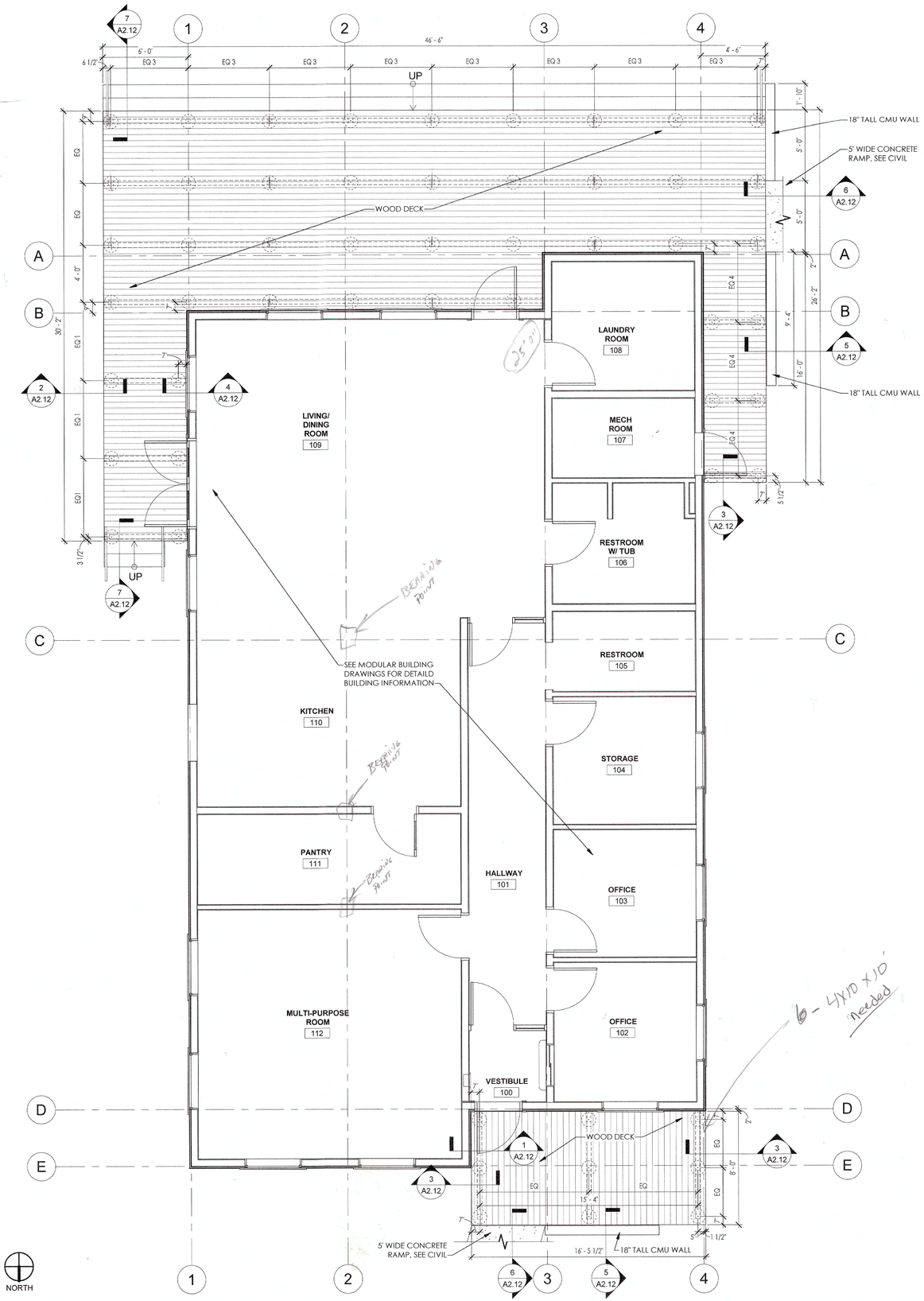
JUSTIN M. JONES — STATE OF WASHINGTON — 41829 — REGISTERED PROFESSIONAL ENGINEER
09/11/19

| REV | DATE | DESCRIPTION |
|---|---|---|
| 1 | 12/20/18 | City Comments |
| 2 | 02/06/19 | City Comments |
| 3 | 05/17/19 | Design Update |
| 4 | 07/19/19 | Permit Set |
| 5 | 08/09/19 | Pricing Set |
| 6 | 09/11/19 | City Comments |

DRAWN BY: I. Harkins | DESIGN BY: J. Jones
PROJ. NO: 1508-010
DATE: September 11, 2019

DWG.
Hardscape Details

SHEET NUMBER
C9-301




1 A2.11 **PARTIAL FLOOR PLAN - DECK & RAMP**

1/4" = 1'-0"

0 2' 4' 8'


msgs architects
p 360 943 6774 f 360 352 7005
www.msgsarch.com
510 capitol way south
olympia, washington 98501


# VETERAN'S VILLAGE
## COMMUNITY HALL

1301 ORTING KAPOWSIN HWY EAST
ORTING, WA 98360

7759 REGISTERED ARCHITECT
GARNER F. MILLER
STATE OF WASHINGTON

Permit Set 08/ 2019

| Revisions | Description | Date |
|---|---|---|



Sheet Title

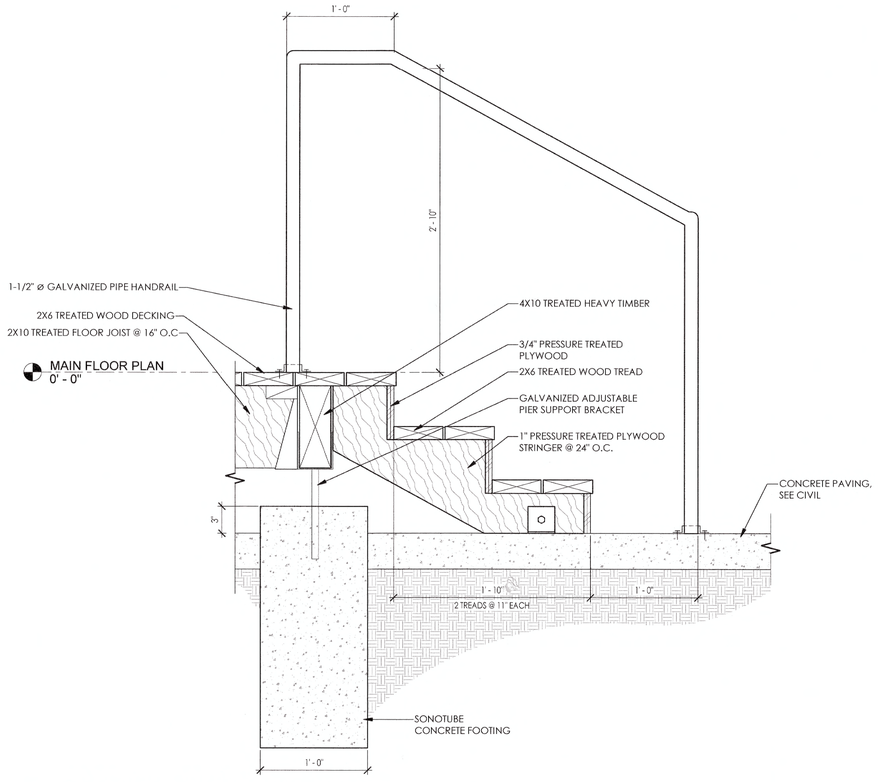
PARTIAL FLOOR PLAN

Sheet No.

**A2.11**

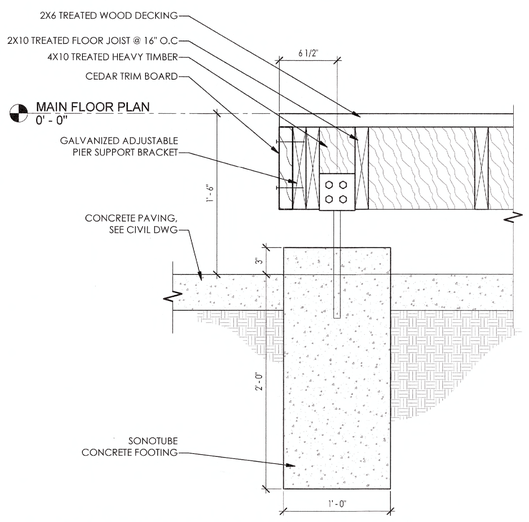
Project No.
17-100

Author
9/11/2019 4:53:38 PM



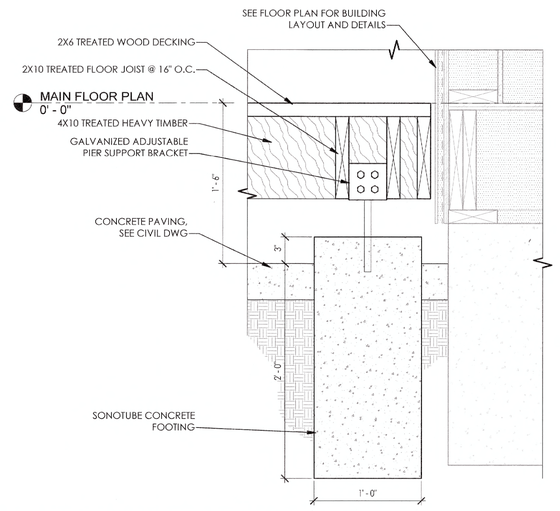

## 7 A2.12 SECTION - STAIR & RAINLING

1 1/2" = 1'-0"



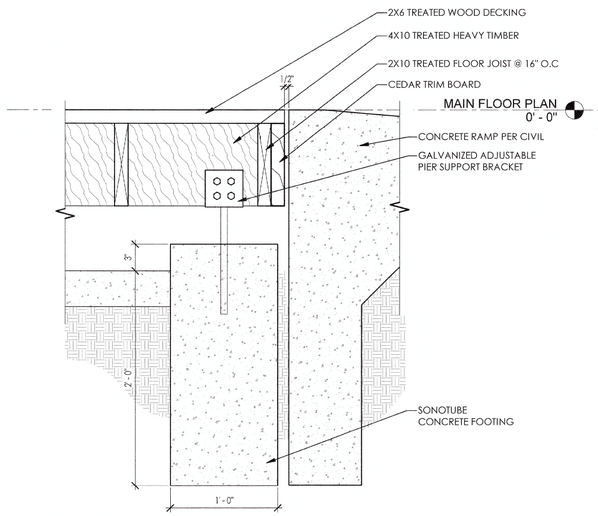

## 2 A2.12 SECTION @ DECK EDGE, TYPICAL

1 1/2" = 1'-0"



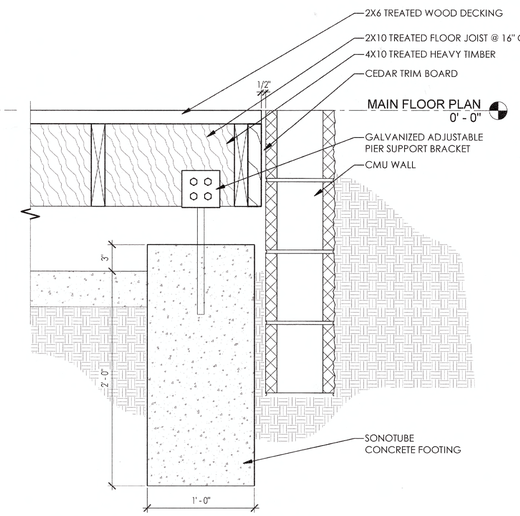

## 4 A2.12 SECTION @ DECK & BUILDING

1 1/2" = 1'-0"



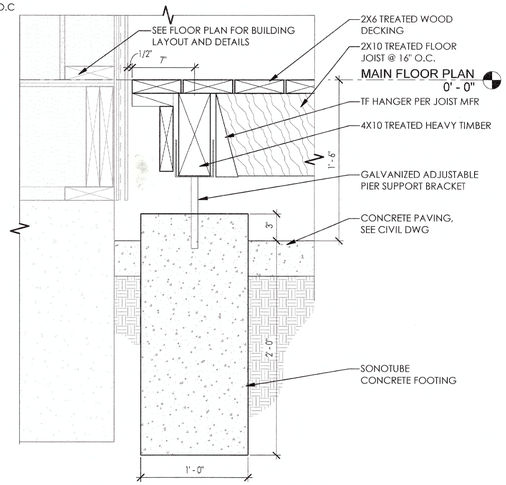

## 6 A2.12 SECTION @ DECK & RAMP

1 1/2" = 1'-0"



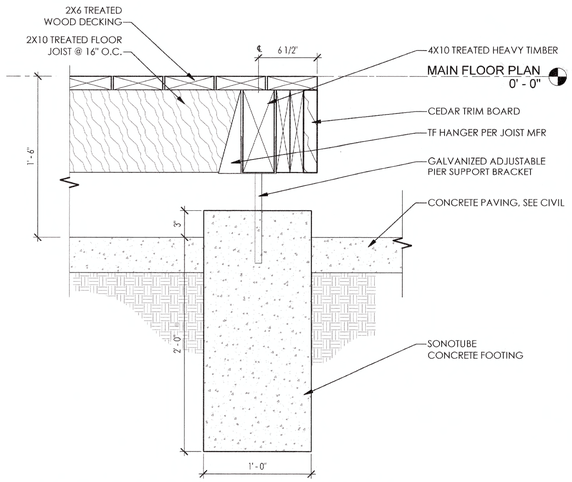

## 5 A2.12 SECTION @ DECK & CMU

1 1/2" = 1'-0"




## 1 A2.12 SECTION @ DECK & BUILDING

1 1/2" = 1'-0"




## 3 A2.12 SECTION @ DECK EDGE, TYPICAL

1 1/2" = 1'-0"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# VETERAN'S VILLAGE
## COMMUNITY HALL

1301 ORTING KAPOWSIN HWY EAST
ORTING, WA 98360

7759 REGISTERED ARCHITECT
GARNER F. MILLER
STATE OF WASHINGTON

Permit Set 08/ 2019

| Revisions | Description | Date |
|---|---|---|



Sheet Title

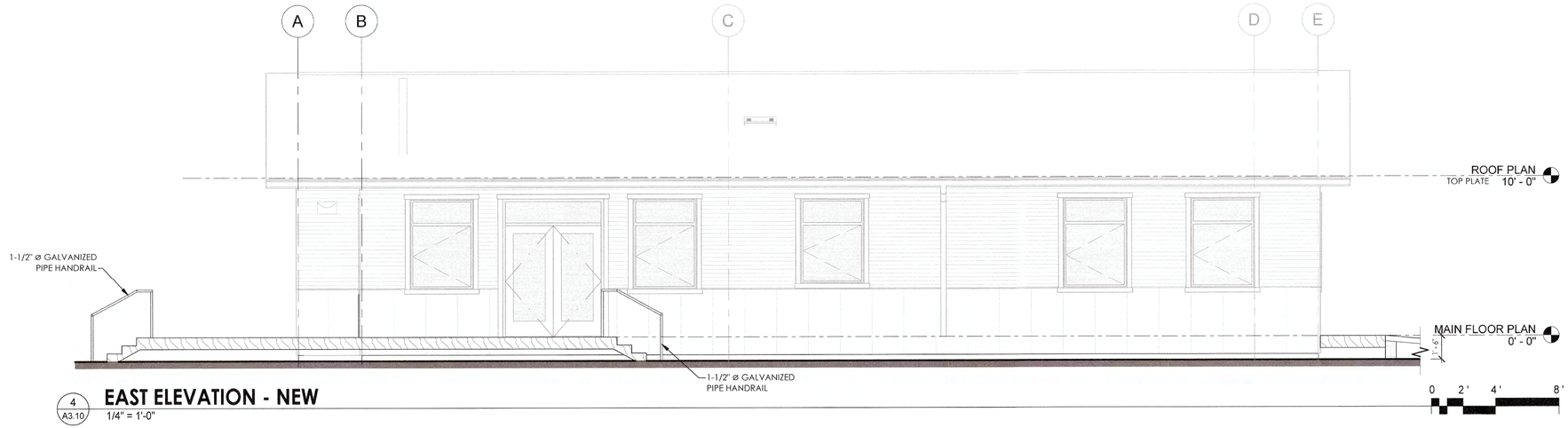
DETAILS

Sheet No.

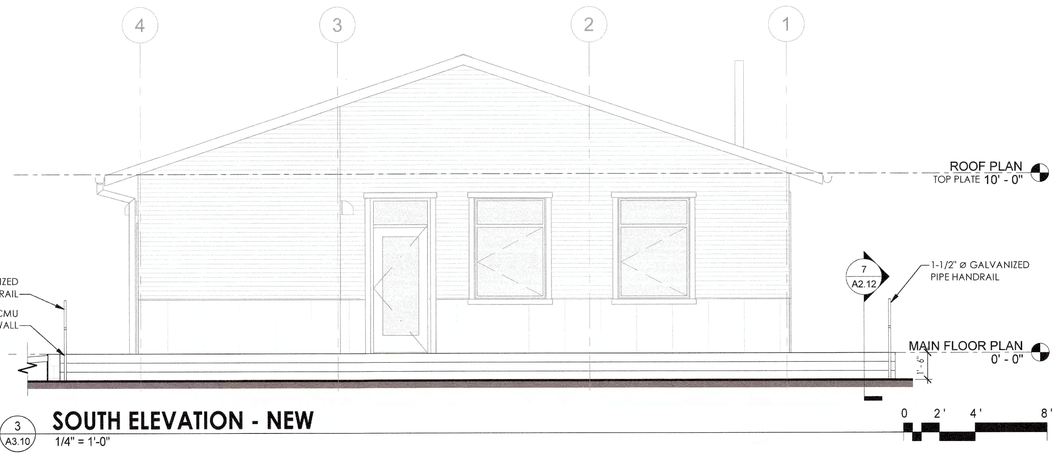
**A2.12**

Project No.
17-100

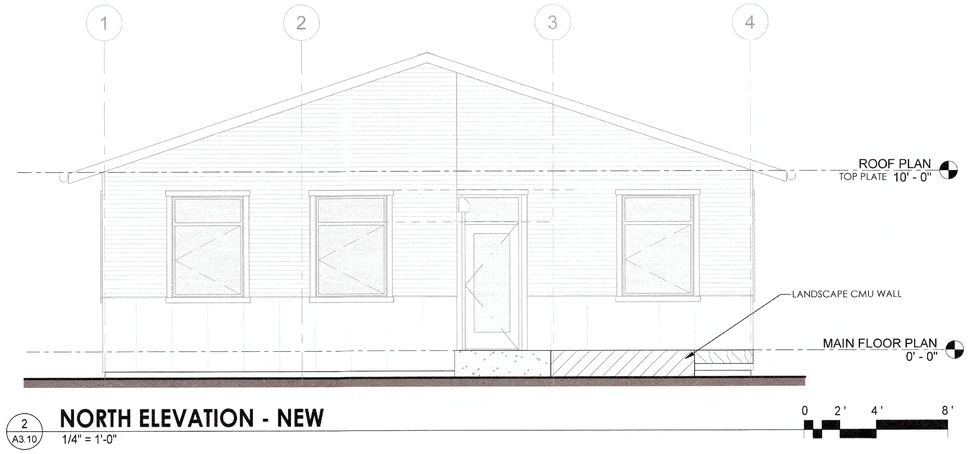
Author
9/11/2019 4:50:49 PM



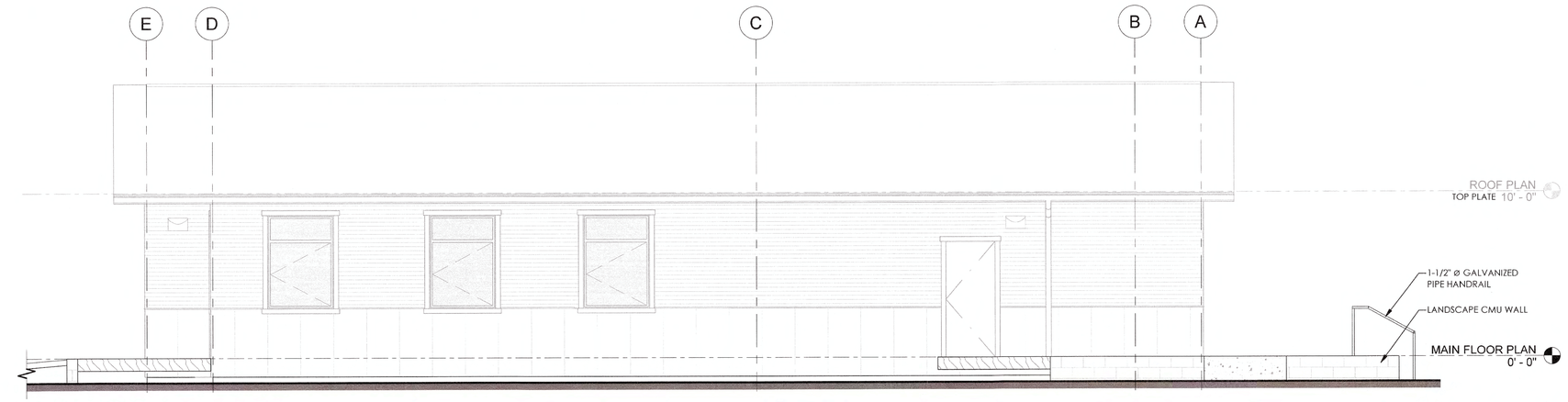

4 A3.10 **EAST ELEVATION - NEW**
1/4" = 1'-0"




3 A3.10 **SOUTH ELEVATION - NEW**
1/4" = 1'-0"




2 A3.10 **NORTH ELEVATION - NEW**
1/4" = 1'-0"




1 A3.10 **WEST ELEVATION - NEW**
1/4" = 1'-0"

Author
9/11/2019 4:51:05 PM

Keynotes

General Notes:

Legend

msgs architects
p 360 943 6774 f 360 352 7005
www.msgsarch.com
510 capitol way south
olympia, washington
98501

# VETERAN'S VILLAGE
COMMUNITY HALL
1301 ORTING KAPOWSIN HWY EAST
ORTING, WA 98360

7759 REGISTERED ARCHITECT
GARNER F. MILLER
STATE OF WASHINGTON

Permit Set 08/ 2019

| Revisions | Description | Date |
|---|---|---|



Sheet Title

EXTERIOR ELEVATIONS

Sheet No.
**A3.10**

Project No.
17-100

# VV CB Orting 2019 – 007
# CARRIAGE HOUSES NORTHWEST

WASHINGTON ENERGY CODE NOTES
Climate Zone: 5b
Door U-Factor: 0.36
Window U-Factor: 0.29
Window SHGC: 0.35

GENERAL
1. Occupancy is B
2. Construction is Type VB.
3. Data plate and modular label are affixed to the inside of the electrical panel box cover unless noted on the floor plan.

NOTICE TO LOCAL ENFORCEMANT ACENCY (NLEA)
Third party approval applies only to the factory built portion of this building and additional work is required on-site. All work to be completed on-site is to be in compliance with all state and local codes and is subject to review, approval, and inspection by the local authority having jurisdiction. This building is designed for installation on a permanent foundation and is not intended to be moved once installed. All on-site work shall be the responsibility of the builder. The following list is not all inclusive, nor does it limit the items of work or materials that may be required for complete installation.
1. Complete foundation support and anchorage system designed by an engineer licensed in the State the Structure is to be built.
2. Ramps, stairs and general access to building.
3. Portable fire extinguisher(s), if required.
4. Building drains, clean outs, and connection to plumbing system completed and tested on-site by licensed Plumber.
5. Extension of vents and/or chimneys through the roof to the outside.
6. Electrical service connection (including feeders) to the building by licensed Electrician.
7. Main electrical panel and sub-feeders (multi-dwelling buildings only).
8. Connection of electrical circuits crossing over module mating line(s) (multi-units only).
9. Electrical fixtures not installed in the plant.
10. When exterior receptacles are provided and are not accessible from grade due to side conditions, additional recepts shall be installed.
11. Gable endwall framing (if hinged roof).
12. Structural and aesthetic interconnection between modules (multi-wide units only).
13. Exterior shingles, siding, wall finish and soffit material, not installed in the factory.

SPECIAL CONDITIONS AND LIMITATIONS
1. The installation of this building is limited to the geographical locations that were within the scope of the structural design loads and climate zones specified on this page.
2. See the "ATTENTION (NLEA)" notes for additional information.
3. Building is not to be located in a flood plain area.

**DESIGN BASIS**

| State/Jurisdiction | Washington |
|---|---|
| Building Code | 2015 International Building Code of Washington |
| Electrical Code | 2017 National Electrical Code of Washington |
| Plumbing Code | 2015 Univerisal Plumbing Code of Washington |
| Mechanical Code | 2015 International Mechanical Code of Washington |
| Energy Code | 2015 International Energy Conservation Code of Washington |

**DESIGN CRITERIA**

| | |
|---|---|
| Floor Live | 100 psf |
| Floor Dead | 15 psf |
| Roof Snow Load | 25 psf |
| Wind Speed | 85 mph (Vasd) -110 mph (Vult) |
| Exposure Category | B |
| Seismic Design Catagory | Class D |
| Permissible Type of Fuel for Appliances | Electric |

**DRAWING INDEX**



1 / CV-101 COVER SHEET
SCALE: NONE


Phillip E Robbins, P.E.
1777 State Route 167
Victoria, IL 61485
PER191211

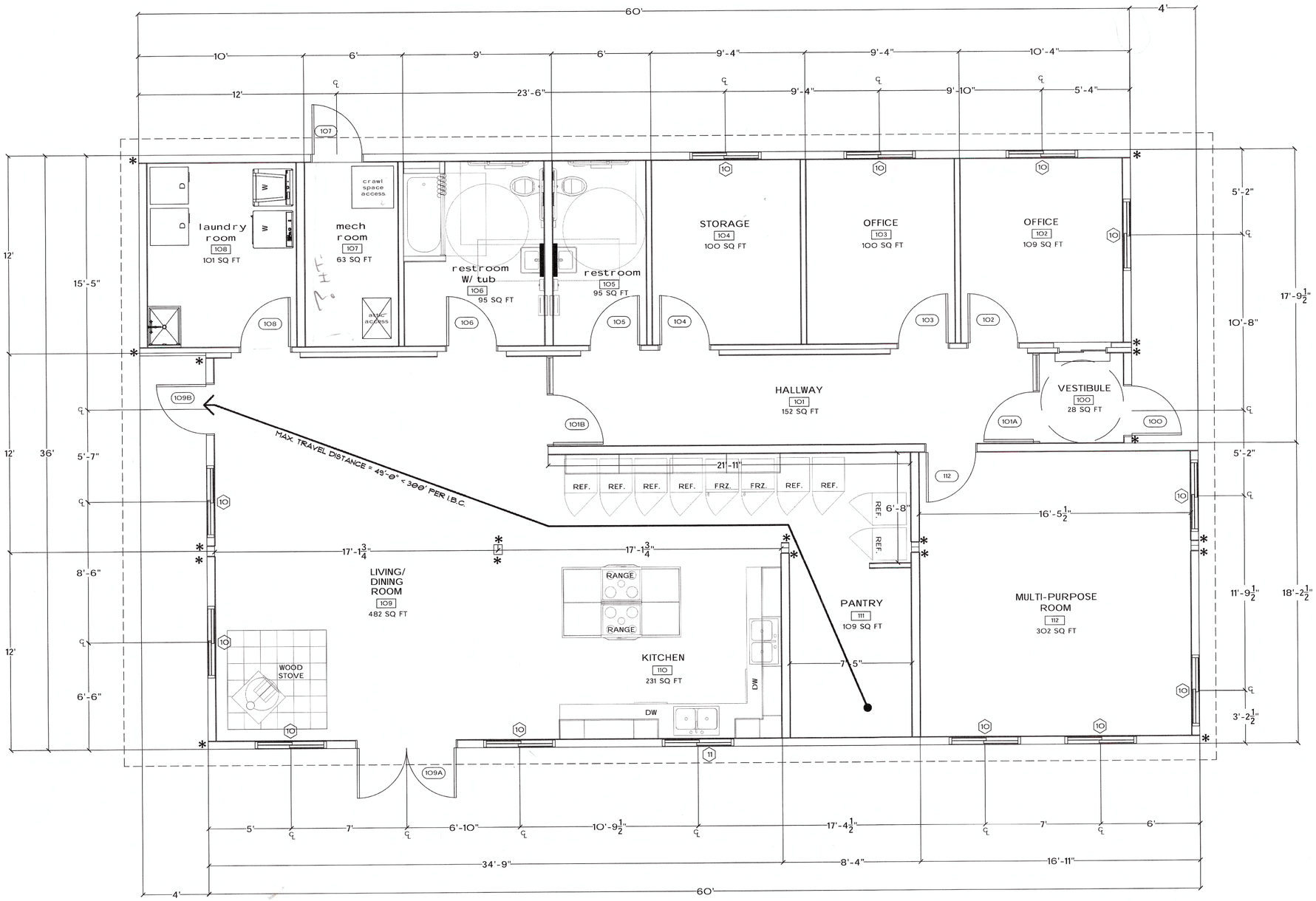


CarriageHouses
4000 88th St NE, Marysville,WA 98271


Veterans Villiage Community Hall
1301 Orting Kapowsin Hwy East
Orting, WA 98360

Date Started:
07/16/2019

PHILLIP E. ROBBINS
STATE OF WASHINGTON
07/18/2019
EXPIRES 10/15/2019




**EXTERIOR DOOR SCHEDULE**

| ID # | QTY | DESCRIPTION | SWING | JAMB | COMMENTS |
|---|---|---|---|---|---|
| 100 | 1 | 36"x80" | RIGHT | 6" | |
| 107 | 1 | 36"x80" | LEFT | 6" | |
| 109A | 1 | 72"x80" | - | 6" | |
| 109B | 1 | 36"x80" | RIGHT | 6" | |

**INTERIOR DOOR SCHEDULE**

| ID # | QTY | DESCRIPTION | SWING | JAMB | COMMENTS |
|---|---|---|---|---|---|
| 101A | 1 | 36"x80" | LEFT | 4 1/2" | |
| 101B | 1 | 36"x80" | RIGHT | 4 1/2" | |
| 102 | 1 | 36"x80" | LEFT | 4 1/2" | |
| 103 | 1 | 36"x80" | RIGHT | 4 1/2" | |
| 104 | 1 | 36"x80" | LEFT | 4 1/2" | |
| 105 | 1 | 36"x80" | RIGHT | 4 1/2" | |
| 106 | 1 | 36"x80" | LEFT | 4 1/2" | |
| 108 | 1 | 36"x80" | RIGHT | 4 1/2" | |
| 111 | 1 | 36"x80" | LEFT | 6 1/2" | |
| 112 | 1 | 36"x80" | RIGHT | 4 1/2" | |

**WINDOW SCHEDULE**

| ID # | QTY | DESCRIPTION | COMMENTS |
|---|---|---|---|
| 10 | 12 | 48"x48" SLIDER | |
| 11 | 1 | 48"x36" SLIDER | |
| | | | |
| | | | |

* Strap studs to floor at each corner of each box with (1) Simpson LSTA18
Strap header, cantilever header and marriage wall header to stud and stud to
floor with (1) Simpson LSTA18 at all openings greater than 5 feet or cantilevered overhang of 4 feet.

1
FP-101

FLOORPLAN
SCALE: NONE


Phillip E Robbins, P.E.
1777 State Route 167
Victoria, IL 61485
PER191211


CarriageHouses NORTHWEST
4000 83th St NE, Marysville, WA 98271

Villiage Community Hall
1301 Orting Kapowsin Hwy East
Orting, WA 98360

Date Started:
7/16/19

PHILLIP E. ROBBINS
STATE OF WASHINGTON
0032000
REGISTERED PROFESSIONAL ENGINEER
07/18/2019

EXPIRES 10/15/2019


FRONT ELEVATION


REAR ELEVATION

1
EV-101

FRONT AND REAR ELEVATIONS

SCALE: NONE

Phillip E Robbins, P.E.
1777 State Route 167
Victoria, IL 61485
PER191211

CarriageHouses NORTHWEST
4000 88th St NE, Marysville, WA 98271

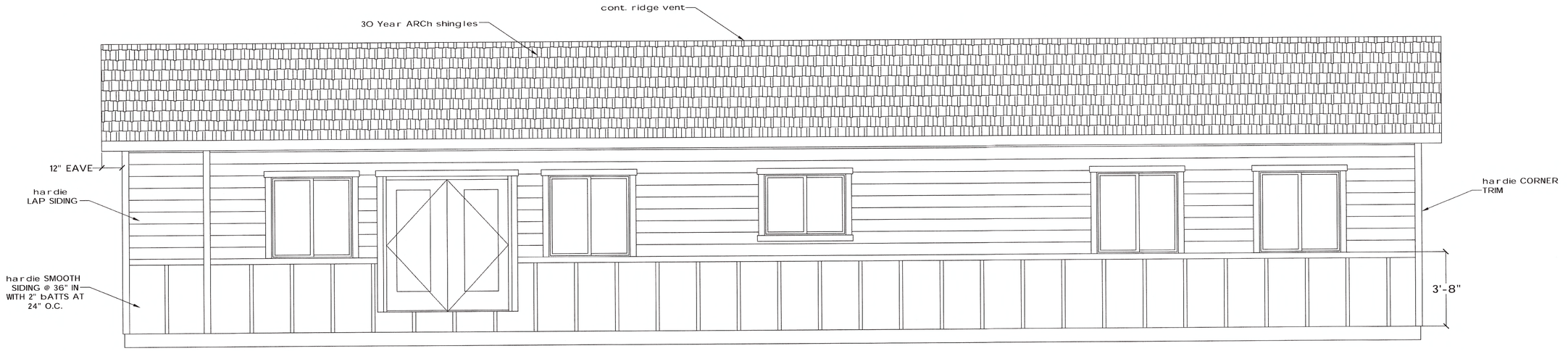
Veterans Village Community Hall
1301 Orting Kapowsin Hwy East
Orting, WA 98360

Date Started:
7/16/19

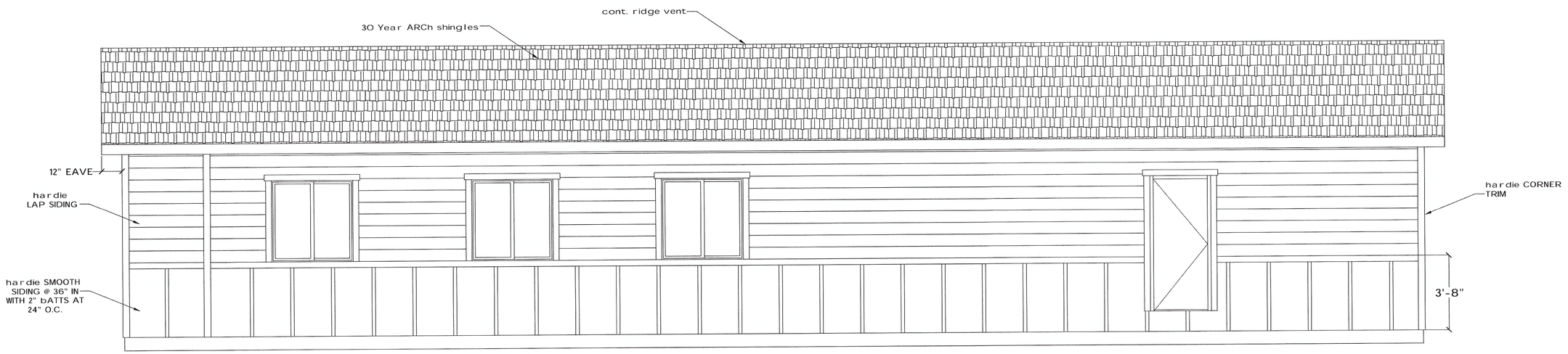
PHILLIP E. ROBBINS
STATE OF WASHINGTON
20032090
REGISTERED
PROFESSIONAL ENGINEER

07/18/2019

EXPIRES 10/15/2019




LEFT ELEVATION




RIGHT ELEVATION

1
EV-102

LEFT AND RIGHT ELEVATIONS
SCALE: NONE

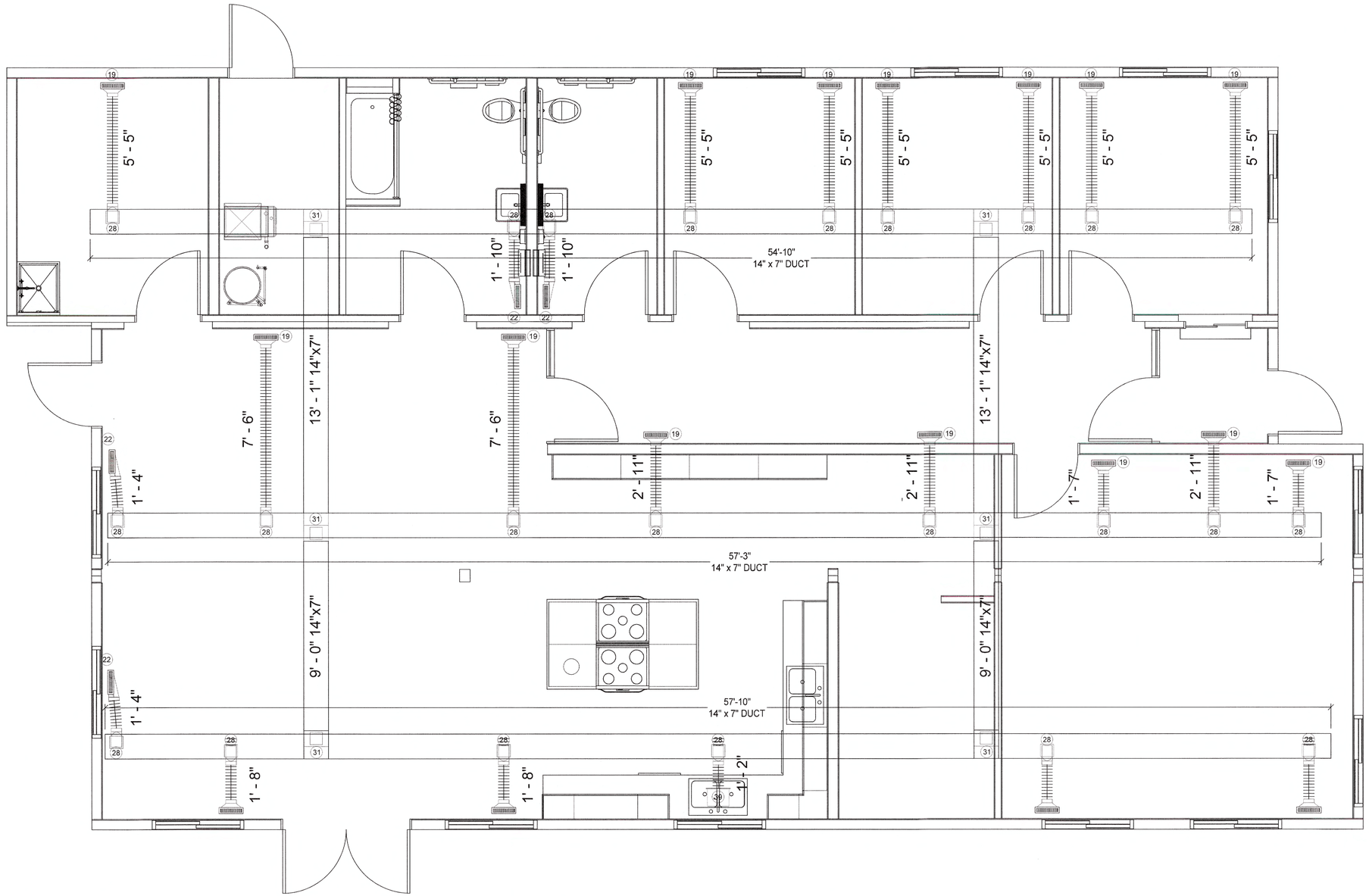
Phillip E Robbins, P.E.
1777 State Route 167
Victoria, IL 61485
PER191211

CarriageHouses
4000 88th St NE, Marysville,WA 98271

Veterans Villiage Community Hall
1301 Orting Kapowsin Hwy East
Orting, WA 98360

Date Started:
7/16/19

PHILLIP E. ROBBINS
STATE OF WASHINGTON
REGISTERED
PROFESSIONAL ENGINEER
07/18/2019
EXPIRES 10/15/2019




1 MP-101

MECHANICAL PLAN

SCALE: NONE

Phillip E Robbins, P.E.
1777 State Route 167
Victoria, IL 61485
PER191211

CarriageHouses

4000 88th St NE, Marysville,WA 98271

Veterans Villiage Community Hall
1301 Orting Kapowsin Hwy East
Orting, WA 98360

Date Started:
7/16/19

PHILIP E. ROBBINS
STATE OF WASHINGTON
20032090
REGISTERED
PROFESSIONAL ENGINEER

07/18/2019

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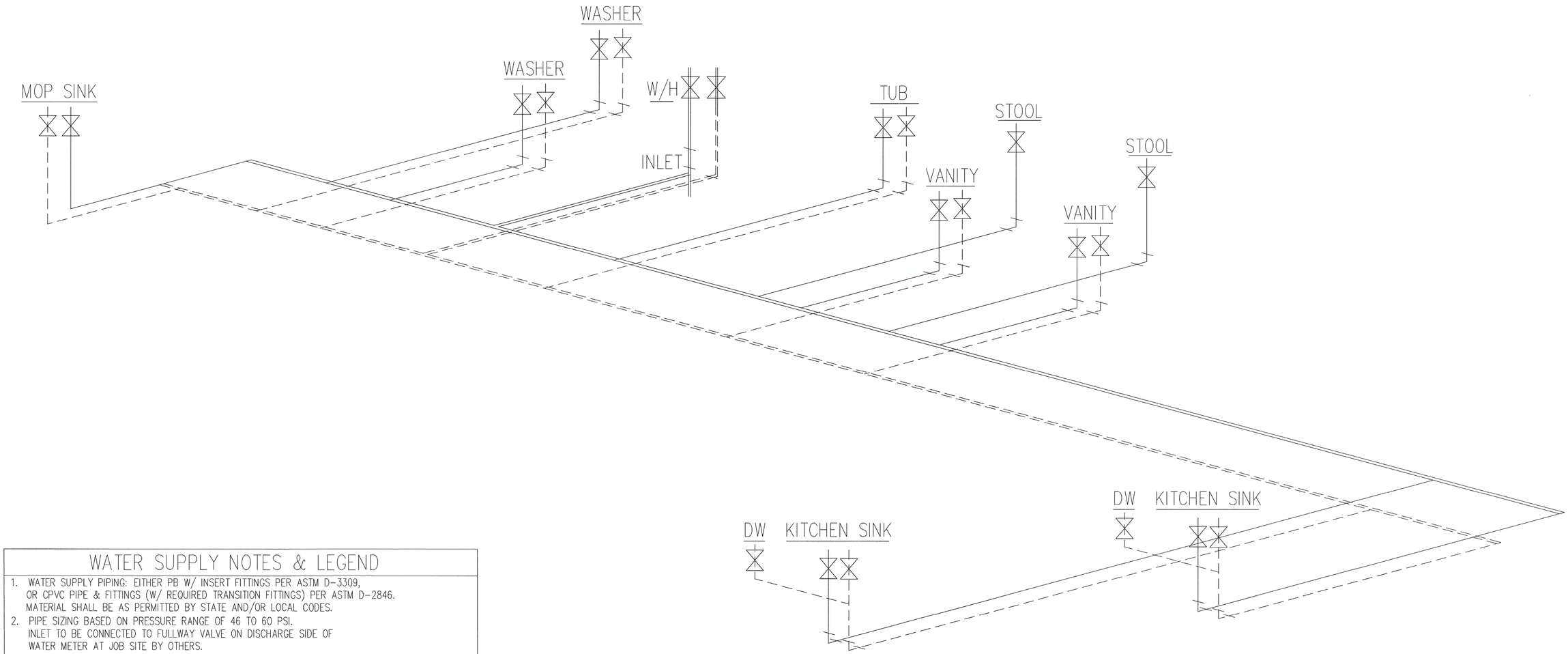



## WATER SUPPLY NOTES & LEGEND

1. WATER SUPPLY PIPING: EITHER PB W/ INSERT FITTINGS PER ASTM D-3309, OR CPVC PIPE & FITTINGS (W/ REQUIRED TRANSITION FITTINGS) PER ASTM D-2846. MATERIAL SHALL BE AS PERMITTED BY STATE AND/OR LOCAL CODES.
2. PIPE SIZING BASED ON PRESSURE RANGE OF 46 TO 60 PSI. INLET TO BE CONNECTED TO FULLWAY VALVE ON DISCHARGE SIDE OF WATER METER AT JOB SITE BY OTHERS.
3. HOT & COLD INLETS TO BE CONNECTED TO WATER HEATER AND WATER SERVICE AT JOB SITE BY OTHERS.
4. 3/4" DRAIN PIPE FROM T. & P. RELIEF VALVE SHALL EXTEND TO EXTERIOR OF BUILDING OR TERMINATE PER 2015 UPC STATE OF WASHINGTON REQUIREMENTS.
5. 3/4" x 6" (MIN.) METAL NIPPLES W/ UNIONS TO WATER HEATER.
6. WATER HEATER PAN AND DRAIN INSTALLED PER 2015 STATE OF WASHINGTON REQUIREMENTS.
7. TUB FILLER SHALL NOT EXCEED 120 DEGREES

| | |
|---|---|
| COLD WATER PIPING | NON-FREEZE HOSE BIBB W/ BACKFLOW PREVENTER |
| HOT WATER PIPING | |
| FIXTURE SUPPLY VALVE | 1/2" ~ PIPE |
| 3/4" FULLWAY VALVE | 3/4" ~ PIPE |

1
WP-101

WATER PLAN
SCALE: NONE

CarriageHouses NORTHWEST
4000 88th St NE, Marysville, WA 98271

Veterans Villiage Community Hall
1301 Orting Kapowsin Hwy East
Orting, WA 98360

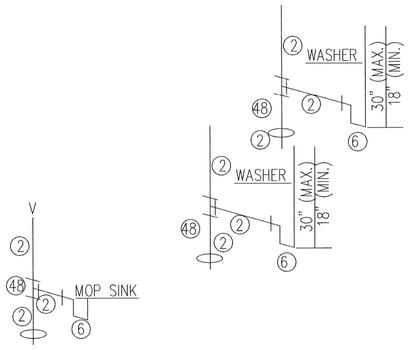
Date Started:
7/16/19

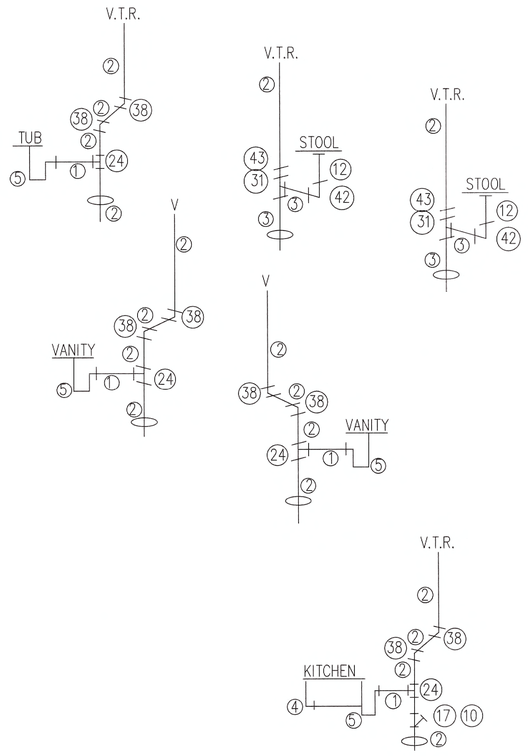
PHILLIP E. ROBBINS
STATE OF WASHINGTON
20112090
REGISTERED PROFESSIONAL ENGINEER
07/15/2019

EXPIRES 10/15/2019



Phillip E Robbins, P.E.
1777 State Route 167
Victoria, IL 61485
PER191211




## DRAIN LINE NOTES

1. PIPE AND FITTINGS ARE SHEDULED 40 ABS DWV.
2. CONNECTION OF BUILDING DRAIN OUTLETS TOGETHER & THEIR CONNECTION TO BUILDING SEWER TO BE DONE AT JOB SITE BY OTHERS.
3. OPTIONAL: HORIZONTAL DRAINAGE PIPING THAT RUNS BELOW FLOOR JOISTS MAY BE OMITTED AND ALL VERTICAL DRAIN PIPES STUBBED OFF AT OR ABOVE BOTTOM OF FLOOR JOISTS
4. HORIZONTAL DRAINAGE PIPING SHALL HAVE A UNIFORM SLOPE OF NOT LESS THAN 1/4" PER FOOT.
5. EVERY DRY VENT SHALL RISE VERTICALLY TO A MINIMUM OF 6 INCHES ABOVE THE F.L.R. OF THE HIGHEST TRAP OR TRAPPED FIXTURE BEING VENTED.

V.T.R. VENT THROUGH ROOF (3" PIPE A MINIMUM OF 12" BELOW AND ABOVE THE ROOF LINE)

V. VENT THAT MAY CONNECT TO A V.T.R. OR MAY EXTEND INDIVIDUALLY THROUGH THE ROOF. (3" PIPE A MINIMUM OF 12" BELOW AND ABOVE THE ROOF LINE)

⬭ DENOTES THRU FLOOR

## DRAIN LINE LEGEND

| | | | | | | | | | | | |
|---|---|---|---|---|---|---|---|---|---|---|---|
| 1 | 1-1/2" PIPE | 11 | 3" CLEANOUT PLUG | 21 | 3" LONG SWEEP 1/4 BEND | 31 | 3" L.T.T.Y. | 41 | 3" x 3" x 3" DBL. 1/4 BEND |
| 2 | 2" PIPE | 12 | CLOSET FLANGE | 22 | 1-1/2" SAN. TEE | 32 | 2" x 1-1/2" x 1-1/2" L.T.T.Y. | 42 | 4" x 3" CLOSET BEND |
| 3 | 3" PIPE | 13 | 1-1/2" AUTO VENT | 23 | 2" x 1-1/2" x 1-1/2" SAN. TEE | 33 | 2" x 2" x 1-1/2" L.T.T.Y. | 43 | 3" x 2" FLUSH REDUCER BUSHING |
| 4 | 1-1/2" CONTINUOUS WASTE | 14 | 2" SAN. TEE | 24 | 2" x 2" x 1-1/2" SAN. TEE | 34 | 2" x 1-1/2" x 2" L.T.T.Y. | 44 | 3" x 1-1/2" FLUSH REDUCER BUSHING |
| 5 | 1-1/2" P-TRAP | 15 | 1-1/2" WYE W/ FITTING C.O. ADP. | 25 | 3" x 3" x 1-1/2" SAN. TEE | 35 | 3" x 3" x 1-1/2" L.T.T.Y. | 45 | 2" x 1-1/2" FLUSH REDUCER BUSHING |
| 6 | 2" P-TRAP | 16 | 1-1/2" 1/4 BEND | 26 | 3" x 3" x 2" SAN. TEE | 36 | 3" x 3" x 2" L.T.T.Y. | 46 | 3" WYE |
| 7 | 3" P-TRAP | 17 | 2" 1/4 BEND | 27 | 3" x 3" x 2" x 1-1/2" DBL. SAN. TEE | 37 | 1-1/2" 1/8 BEND | 47 | 3" x 3" x 2" WYE |
| 8 | 3" CAP W/ CHAIN | 18 | 3" 1/4 BEND | 28 | 3" x 3" x 2" x 2" DBL. SAN. TEE | 38 | 2" 1/8 BEND | 48 | 2" SAN. TEE |
| 9 | 1-1/2" CLEANOUT PLUG | 19 | 1-1/2" LONG SWEEP 1/4 BEND | 29 | 1-1/2" L.T.T.Y. | 39 | 3" 1/8 BEND | | |
| 10 | 2" CLEANOUT PLUG | 20 | 2" LONG SWEEP 1/4 BEND | 30 | 2" L.T.T.Y. | 40 | 3" x 3" x 1-1/2" SAN. TEE W/ 2" S. INLET | | |

**PLUMBING ASSEMBLY NOTES:**

**1. INSTALL DEVICES ABOVE FLOOR DECK; SHOWER HEAD-6'6" / SHOWER DIVERTER-48" / TUB SHOWER DIVERTER-42" / WASHER BOX-48" / ICEMAKER BOX-16" / MAIN SHUTOFF BOX-16" TO BOTTOM / MAIN SHUTOFF VALVE-24" TO CENTER / HOSE BIBS-12" / DRAINS-19" TO CENTER / WATER HEATER LINES-6'2".**
**2. INSTALL ROOF VENTS MIN 12" ABOVE ROOF DECK.**
**4. WASHINGTON STATE 2015 UPC.**

PLUMBING SYSTEM

1. Plumbing fixtures shall have separate shut-off valves.
2. Water heater shall have a safety pan with 3/4" minimum drain to exterior, T&P relief valve with drain to exterior, and a shut off valve within 3' on a cold water supply line.
3. Water pipes installed in a wall exposed to the exterior shall be located on the heated side of the wall insulation. Water piping installed in an unconditioned attic shall be insulated with R6.5 insulation minimum.
4. DWV system shall be either ABS or PVC
5. Water supply lines shall be polybutylene, CPVC, copper or PEX; when polybutylene supply line are installed the maximum water heater temperature setting shall not exceed 180º F.
6. Polybutylene pipe shall be installed in accordance with the manufacturers limitations and instructions.
7. Building drain and cleanouts are to be designed by others on site and subject to review and approval by the local authority having jurisdiction.
8. Tub access provided under home unless otherwise noted.
9. Shower stalls shall be covered with non-absorbent material to a height of 72" above the finish floor.
10. A thermal expansion device shall be provided at the water heater if required by the manufacturer's installation instructions.
11. A water hammer arrestor shall be installed where quick closing valves are utilized, unless otherwise approved. Water hammer arrestors shall be installed in accordance with manufacturer's installation instructions.
12. Building must be connected to a public water supply and sewer system if available.
13. Shower and tub/shower combination valves shall be equipped with control valves of the pressure-balance, thermostatic-mixing or combination pressure-balance/thermostatic-mixing valve types with a high limit stop in accordance with ASSE 1016 or CSA B125. High limit stop shall limit the maximum water temperature to 120° F.
14. Bathtubs and whirlpool bathtubs hot water shall be limited to a maximum temperature of 120° F by a water temperature limiting device.
15. Protect all penetrations of rated assemblies.
16. Pex Pipe or Tubing is not allowed to be installed within the first 18" of piping connected to Water Heater.

1 / PP-101 DWV PLUMBING PLAN
SCALE: NONE

Phillip E Robbins, P.E.
1777 State Route 167
Victoria, IL 61485
PER191211

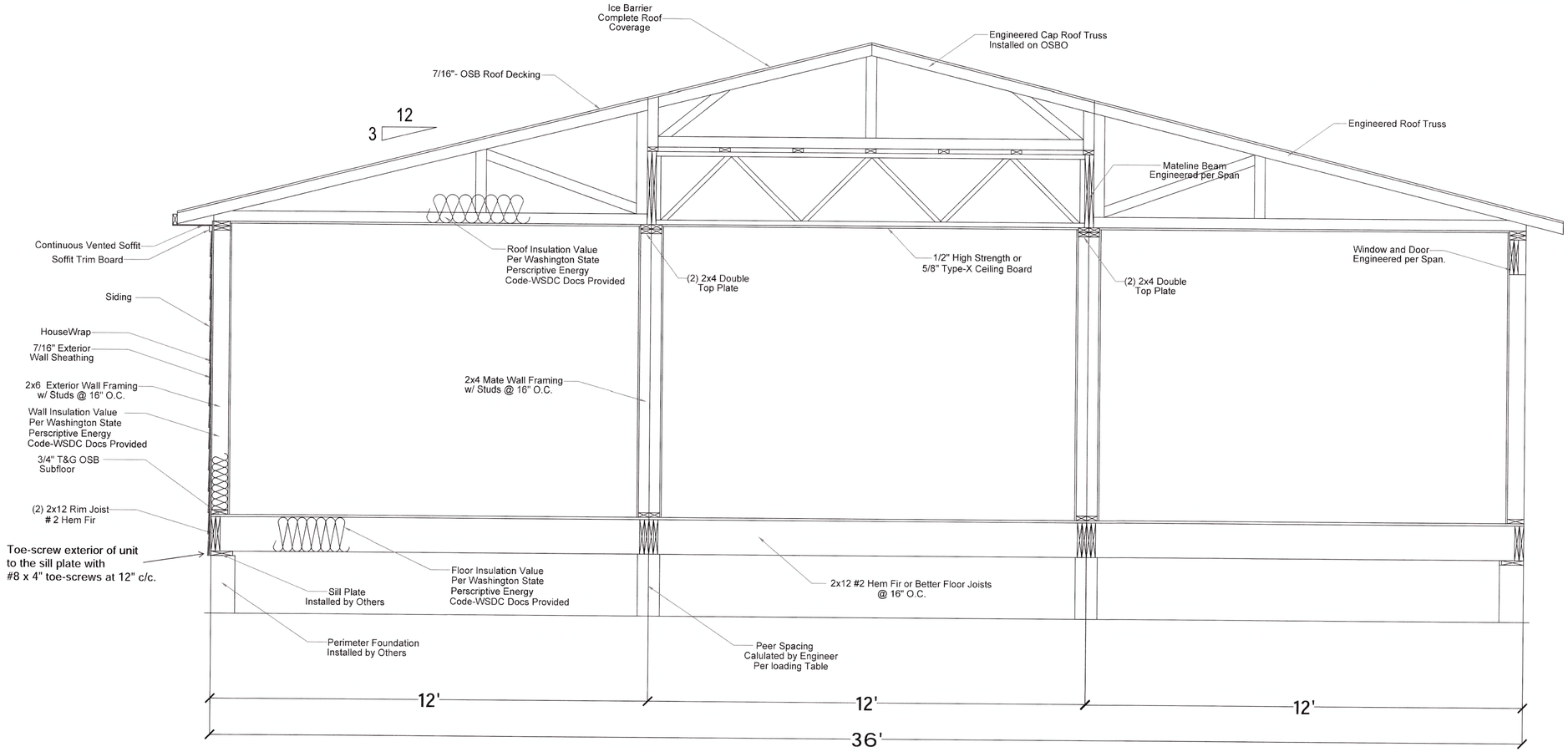
CarriageHouses NORTHWEST
4000 88th St NE, Marysville, WA 98271

Veterans Villiage Community Hall
1301 Orting Kapowsin Hwy East
Orting, WA 98360

Date Started: 7/16/19

PHILLIP E. ROBBINS
STATE OF WASHINGTON
19333090
REGISTERED PROFESSIONAL ENGINEER
07/18/2019

EXPIRES 10/15/2019




**FRAMING NOTES:**

1. PLATE TO STUD 2x6 3-.131"x3" NAILS, 2x4 2-.131"x3" NAILS.
2. DOUBLE 2x6 OR 2x4 TWO ROWS 2-.131"x3" NAILS @ 16" STAGGERED.
3. FLOOR RIM AND BEAM PLYS TO BE FASTENED WITH 3 ROWS .131"x3" NAILS @ 12".
4. LEDGER TO BEAM FASTEN WITH 3 ROWS GALVANIZED .131"x3" NAILS @ 12"
5. STUDS TO BE STUD GRADE, PLATE TO BE #2 OR BETTER.
6. APPLY GWB PANEL ADHESIVE BEAD ON INTERMEDIATE STUDS AND TWO BEADS ON STUDS WHERE TWO PANELS MEET.
7. NONRATED WALLS WITH 1/2 GWB TO USE 1-3/8" NAIL OR 1-1/8" SCREWS @ 16" WITH ADHESIVE.
8. HEADER PLYS TO BE FASTENED WITH 3 ROWS .131"x3" NAILS @ 8".
9. HEADERS TO BE 2x12 U.N.O. CAVITIES TO BE INSULATED.
10. TWO STUD CORNERS ALL LOCATIONS U.N.O.
11. MINIMUM TOP PLATE LAP TO BE 24" WITH 8 - .131"x3" NAILS.
12. SIDEWALL MATERIAL: 2X6 SPF #2 OR BETTER.
13. All 2x Framing Member are to be SPF #2 of Equivilant unless Noted Otherwise

**FASTENING SHEATHING AND SUBFLOORING:**

1. APPLY CONSTRUCTION ADHESIVE ON EACH JOIST FOR SUBFLOORING
2. FASTEN SUBFLOORING WITH .131"x2 3/8" NAILS SPACED AT 6" AT PANEL EDGES AND 12" IN THE FIELD.
3. APPLY CONSTRUCTION ADHESIVE ON EXTERIOR WALL FRAMING FOR EXTERIOR WALL SHEATHING.
4. FASTEN EXTERIOR WALL SHEATHING WITH .131"x2" NAILS. SPACED AT 6" AT PANEL EDGES AND 12" IN THE FIELD U.N.O.
5. ENTRY WALL SHEATHING USE 3" AT EDGES AND 12" IN THE FIELD.
6. FASTEN ROOF SHEATHING WITH .131"x2" NAILS SPACED AT 6" AT PANEL EDGES AND 12" IN THE FIELD U.N.O. 7. FASTEN ROOF TRUSS BOTTOM CHORD TO TOP PLATE WITH 1-SIMPSON SDW22X6" SCREWS U.N.O.
8. WALL ADHESIVES NOT INCLUDED IN STRUCTURAL CALCULATIONS.

Screw floor band rails and marriage wall roof headers across marriage lines with Simpson SDW22600 screws at 24" c/c alternating side to side.

1 / S-101 SECTION
SCALE: NONE

Phillip E Robbins, P.E.
1777 State Route 167
Victoria, IL 61485
PER191211

CarriageHouses NORTHWEST
4000 88th St NE, Marysville, WA 98271

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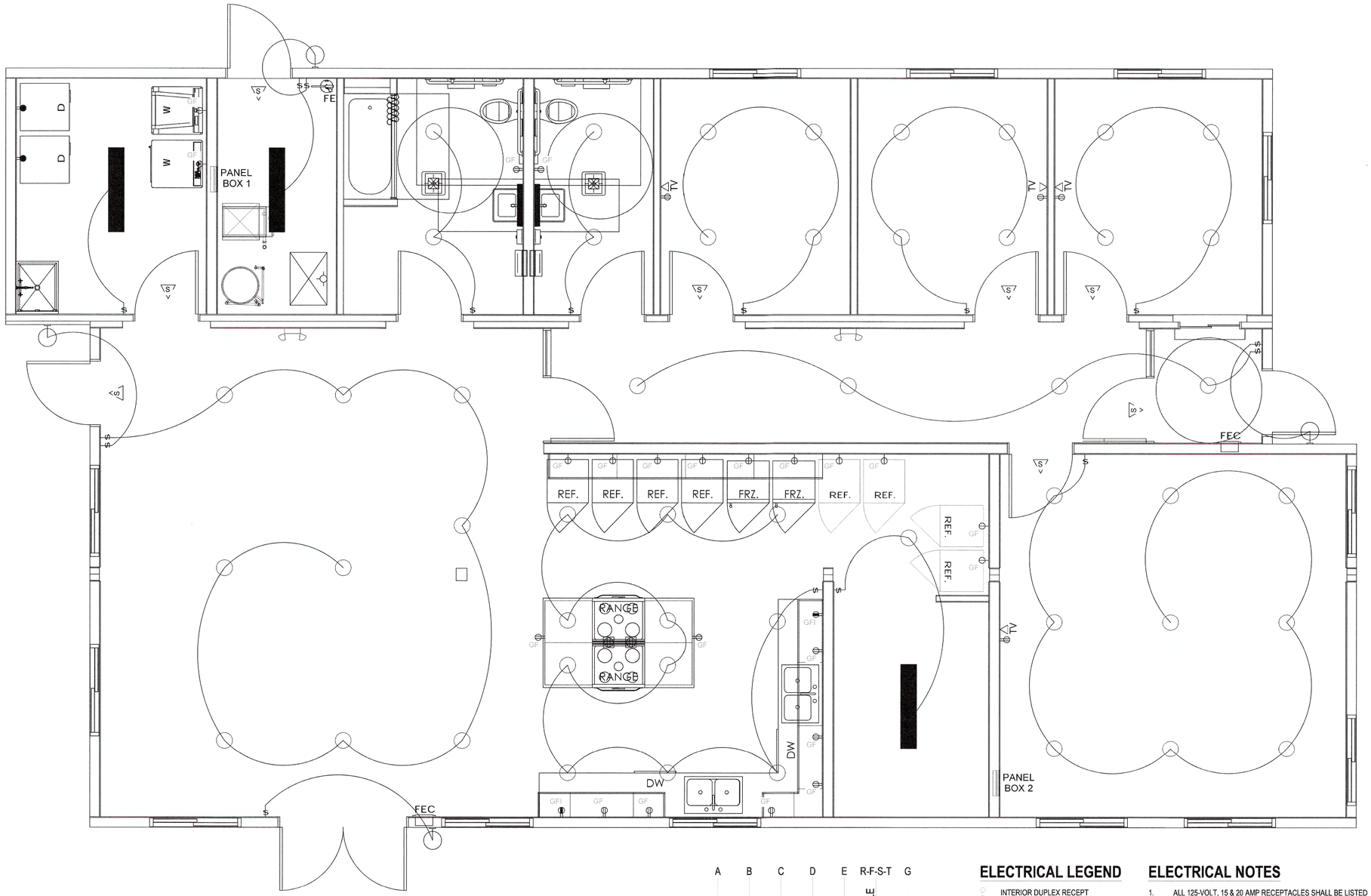
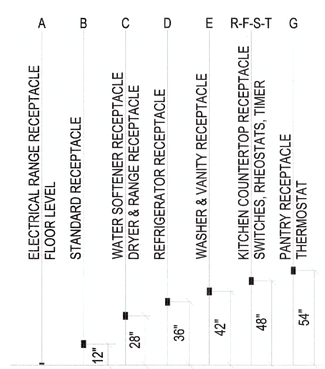
1301 Orting Kapowsin Hwy East
Orting, WA 98360

Date Started:
7/16/19

PHILLIP E. ROBBINS
STATE OF WASHINGTON
REGISTERED
PROFESSIONAL ENGINEER
07/18/2019
EXPIRES 10/15/2019




## ELECTRICAL LEGEND

| | |
|---|---|
| D | INTERIOR DUPLEX RECEPT |
| S | INTERIOR SINGLE RECEPT |
| GFI | INTERIOR GROUND FAULT DUPLEX RECEPT |
| GFI | EXTERIOR GROUND FAULT DUPLEX RECEPT |
| | EXTERIOR DUPLEX RECEPT |
| | FLOOR DUPLEX RECEPT |
| GFI | SOFFIT GROUND FAULT DUPLEX RECEPT |
| | ELECTRIC RANGE RECEPT |
| | DRYER RECEPT |
| | 220 OUTLET |
| T | THERMOSTAT |
| S | SMOKE DETECTOR |
| S | SMOKE-CO DETECTOR |
| S | SWITCH |
| $S_3$ | 3-WAY SWITCH |
| R | RHEOSTAT |
| $R_3$ | 3-WAY RHEOSTAT |
| T | TIMER SWITCH |
| | PANEL BOX |
| | JACK SYMBOL FOR TV, PH, CA5, WPH |
| TV | CABLE JACK |
| PH | PHONE JACK |
| CA5 | DATA JACK |
| WPH | WALL PHONE JACK |

## ELECTRICAL NOTES

1. ALL 125-VOLT, 15 & 20 AMP RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES.
2. OUTDOOR RECEPTACLES EQUIPPED WITH IN USE WEATHER PROOF COVERS & "EXTRA DUTY" TYPE.
3. ALL RECEPTACLE AND SWITCH LOCATIONS ARE TYPICAL HEIGHT U.N.O.
4. NO AMP CONNECTORS - ALL CONNECTIONS MUST BE MADE IN BOX. (NORTH DAKOTA ONLY)
5. LIGHTS WITH DIMENSIONS WILL BE LOCATED IN DROPPED CEILINGS.
6. EXTERIOR LIGHTS ARE TO BE LISTED FOR WET LOCATIONS.

1 / EP-101 ELECTRICAL PLAN

SCALE: NONE


Phillip E Robbins, P.E.
1777 State Route 167
Victoria, IL 61485
PER191211


CarriageHouses NORTHWEST

4000 88th St NE, Marysville, WA 98271

# Veterans Villiage Community Hall

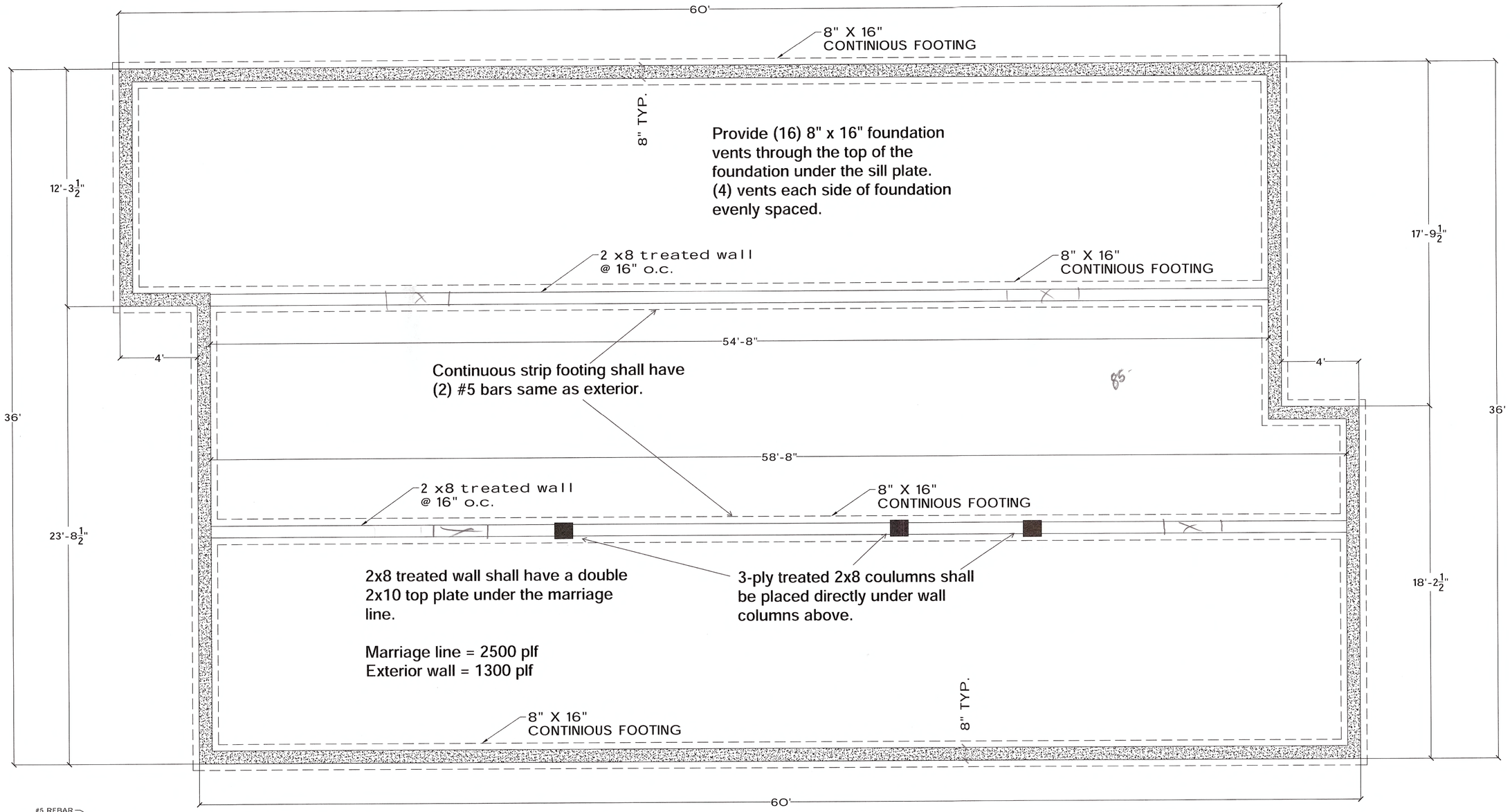
1301 Orting Kapowsin Hwy East
Orting, WA 98360

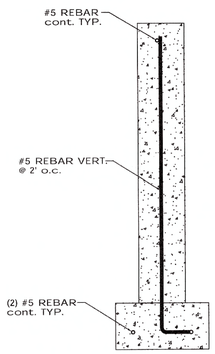
Date Started:
7/16/19

PHILLIP E. ROBBINS
STATE OF WASHINGTON
20030890
REGISTERED PROFESSIONAL ENGINEER

07/18/2019

EXPIRES 10/15/2019




TYPICAL FOUNDATION SECTION

THE HEIGHT OF THE FOUNDATION wall IS TO BE DETERMINED BY THE ENGINEER OF RECORD ALONG WITH WITH CARRIAGE HOUSES NORTHWEST IF AND SPECIAL REQUIREMENTS ARE REQUIRED.

Attach 2x6 treated sill plates to concrete foundation with 5/8" diameter anchor bolts.
Anchor bolts shall be embedded into the concrete a minimum of 8"
Anchor bolts shall be located in the center 1/3 of the sill plate.
Anchor bolts shall be placed not greater than 6' c/c
There shall be a minimum of 2 anchor bolts per sill plate
Each sill plate shall an anchor bolt located between 4" and 12" of each end.

Soil bearing pressure = 2000 psf minimum.
Footing shall be 8" deep by 16" wide, stem wall shall be 8" thick and detailed as show.
Rebar shall extend to within 4" of the top of the wall.

THIS IS A GENERAL FOUNDATION LAYOUT. THE SIZES OF FOOTINGS, foundation walls are shown to meet min requirements of 2015 ibc. if there are any special conditions that need to TO BE meet per the site, the ENGINEER of recored will need verify the changes that need to me made. THE POINT LOADS AND ANY SPECIAL FOUNDATION STRAPING REQUIRED WILL BE PROVIDED TO THE GENERAL CONTRACTOR BY CARRIAGE HOUSES NORTHWEST engineering group AS NEEDED.

1 / F-101 FOUNDATION
SCALE: NONE

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1777 State Route 167
Victoria, IL 61485
PER191211

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1301 Orting Kapowsin Hwy East
Orting, WA 98360

Date Started:
7/16/19

PHILLIP E. ROBBINS
STATE OF WASHINGTON
20032090
REGISTERED PROFESSIONAL ENGINEER
7/16/2019
EXPIRES 10/15/2019

# VV Cott-Orting 2019 – 008
# CARRIAGE HOUSES NORTHWEST

WASHINGTON ENERGY CODE NOTES
Climate Zone: 5b
Door U-Factor: 0.36
Window U-Factor: 0.29
Window SHGC: 0.35

GENERAL
1. Occupancy is R
2. Construction is Type VB.
3. Data plate and modular label are affixed to the inside of the electrical panel box cover unless noted on the floor plan.

NOTICE TO LOCAL ENFORCEMANT ACENCY (NLEA)
Third party approval applies only to the factory built portion of this building and additional work is required on-site. All work to be completed on-site is to be in compliance with all state and local codes and is subject to review, approval, and inspection by the local authority having jurisdiction. This building is designed for installation on a permanent foundation and is not intended to be moved once installed. All on-site work shall be the responsibility of the builder. The following list is not all inclusive, nor does it limit the items of work or materials that may be required for complete installation.
1. Complete foundation support and anchorage system designed by an engineer licensed in the State the Structure is to be built.
2. Ramps, stairs and general access to building.
3. Portable fire extinguisher(s), if required.
4. Building drains, clean outs, and connection to plumbing system completed and tested on-site by licensed Plumber.
5. Extension of vents and/or chimneys through the roof to the outside.
6. Electrical service connection (including feeders) to the building by licensed Electrician.
7. Main electrical panel and sub-feeders (multi-dwelling buildings only).
8. Connection of electrical circuits crossing over module mating line(s) (multi-units only).
9. Electrical fixtures not installed in the plant.
10. When exterior receptacles are provided and are not accessible from grade due to side conditions, additional recepts shall be installed.
11. Gable endwall framing (if hinged roof).
12. Structural and aesthetic interconnection between modules (multi-wide units only).
13. Exterior shingles, siding, wall finish and soffit material, not installed in the factory.

SPECIAL CONDITIONS AND LIMITATIONS
1. The installation of this building is limited to the geographical locations that were within the scope of the structural design loads and climate zones specified on this page.
2. See the "ATTENTION (NLEA)" notes for additional information.
3. Building is not to be located in a flood plain area.

**DESIGN BASIS**

| State/Jurisdiction | Washington |
|---|---|
| Building Code | 2015 International Building Code of Washington |
| Electrical Code | 2017 National Electrical Code of Washington |
| Plumbing Code | 2015 Univerisal Plumbing Code of Washington |
| Mechanical Code | 2015 International Mechanical Code of Washington |
| Energy Code | 2015 International Energy Conservation Code of Washington |

**DESIGN CRITERIA**

| | |
|---|---|
| Floor Live | 40 psf |
| Floor Dead | 15 psf |
| Roof Snow Load | 25 psf |
| Wind Speed | 85 mph (Vasd) -110 mph (Vult) |
| Exposure Category | B |
| Seismic Design Catagory | Class D |
| Permissible Type of Fuel for Appliances | Electric |

**DRAWING INDEX**



1
CV-101
COVER SHEET
SCALE: NONE


Phillip E Robbins, P.E.
1777 State Route 167
Victoria, IL 61485
PER191669



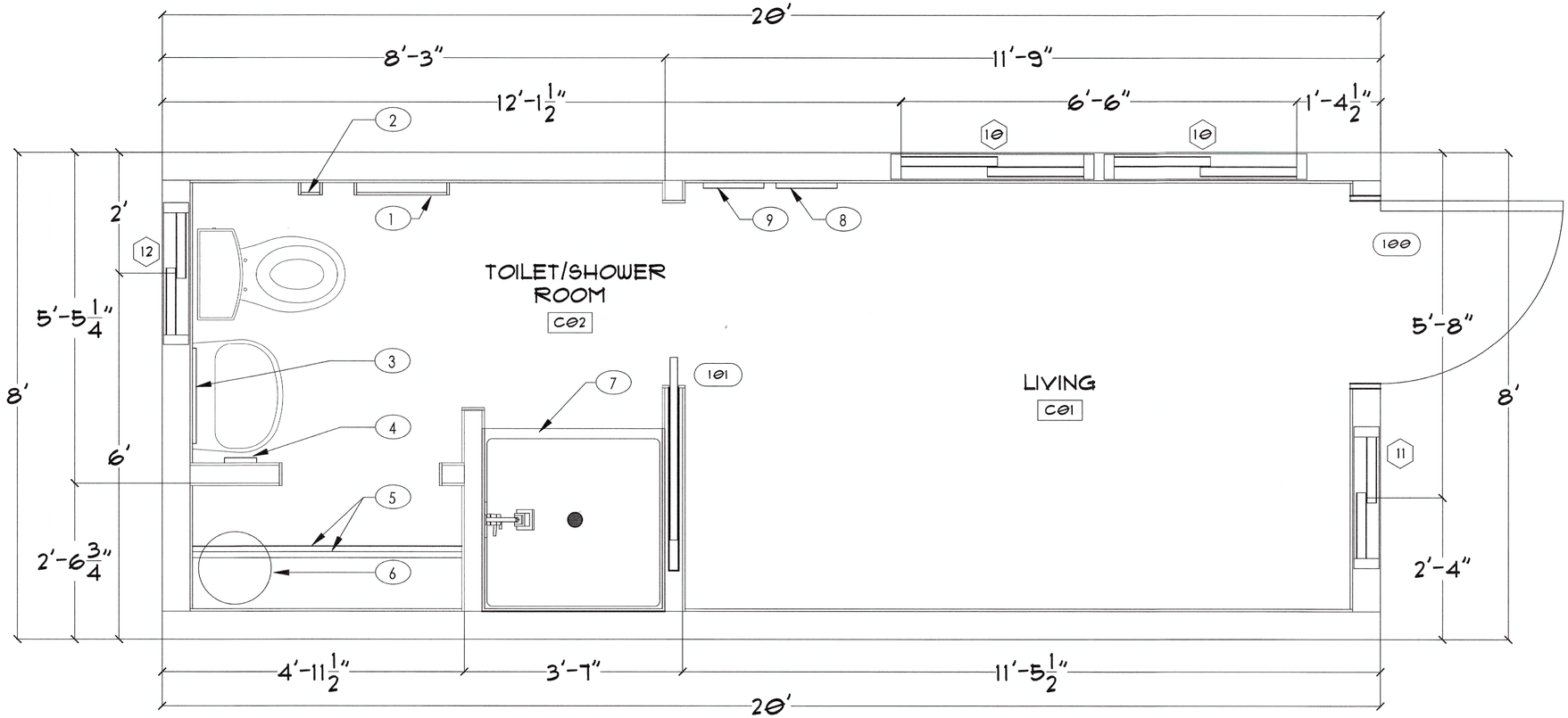
CarriageHouses
4000 88th St NE, Marysville,WA 98271


**Veterans Villiage Cottage Home**
**1301 Orting Kapowsin Hwy East**
**Orting, WA 98360**

Date Started:
8/11/19

PHILLIP E. ROBBINS
STATE OF WASHINGTON
0033956
REGISTERED
PROFESSIONAL ENGINEER

08/17/2019
EXPIRES 10/15/2019




Keynotes

1 18" TOWEL BAR, PROVIDE BLOCKING 24"Wx8"H @ 4'-0" AFF.

2 TOILET PAPER ROLL HOLDER, PROVIDE BLOCKING 8"Wx8"H @ 15" AFF.

3 MIRROR, PROVIDE BLOCKING.

4 TOWEL RING, PROVIDE BLOCKING 24"Wx8"H @ 3'-8" AFF.

5 ADJUSTABLE CLOSET SHELF & POLE.

6 WALL MOUNTED WATER HEATER, 40 GAL.

7 3'-0" X 3'-0" FIBERGLASS SHOWER UNIT.

8 ELECTRICAL PANEL PER ELECTRICAL.

9 WALL MOUNTED HEATER

**EXTERIOR DOOR SCHEDULE**

| ID # | QTY | DESCRIPTION | SWING | JAMB | COMMENTS |
|---|---|---|---|---|---|
| 100 | 1 | 36"x80" | LEFT | 6" | |
| | | | | | |

**INTERIOR DOOR SCHEDULE**

| ID # | QTY | DESCRIPTION | SWING | JAMB | COMMENTS |
|---|---|---|---|---|---|
| 101 | 1 | 36"x80" POCKET DOOR | - | 4 1/2" | |
| | | | | | |

**WINDOW SCHEDULE**

| ID # | QTY | DESCRIPTION | COMMENTS |
|---|---|---|---|
| 10 | 2 | 36"x48" SLIDER | |
| 11 | 1 | 24"x36" SLIDER | |
| 12 | 1 | 24"x24" SLIDER | |

1 FP-101 FLOORPLAN
SCALE: NONE

CarriageHouses
4000 88th St NE, Marysville,WA 98271

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Date Started:
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PHILLIP E. ROBBINS
STATE OF WASHINGTON
20032090
REGISTERED
PROFESSIONAL ENGINEER

08/17/2019
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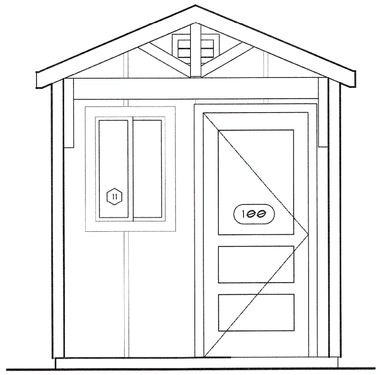
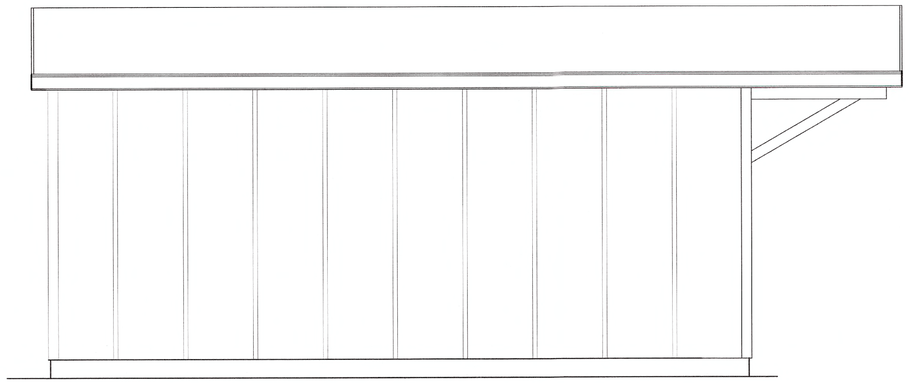
Phillip E Robbins, P.E.
1777 State Route 167
Victoria, IL 61485
PER191669

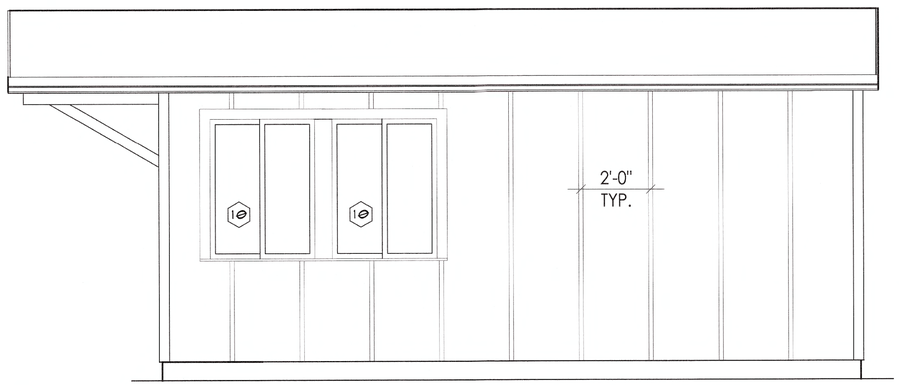


FRONT ELEVATION



LEFT ELEVATION

REAR ELEVATION




RIGHT ELEVATION

1
EV-101
ELEVATIONS
SCALE: NONE

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8/11/19

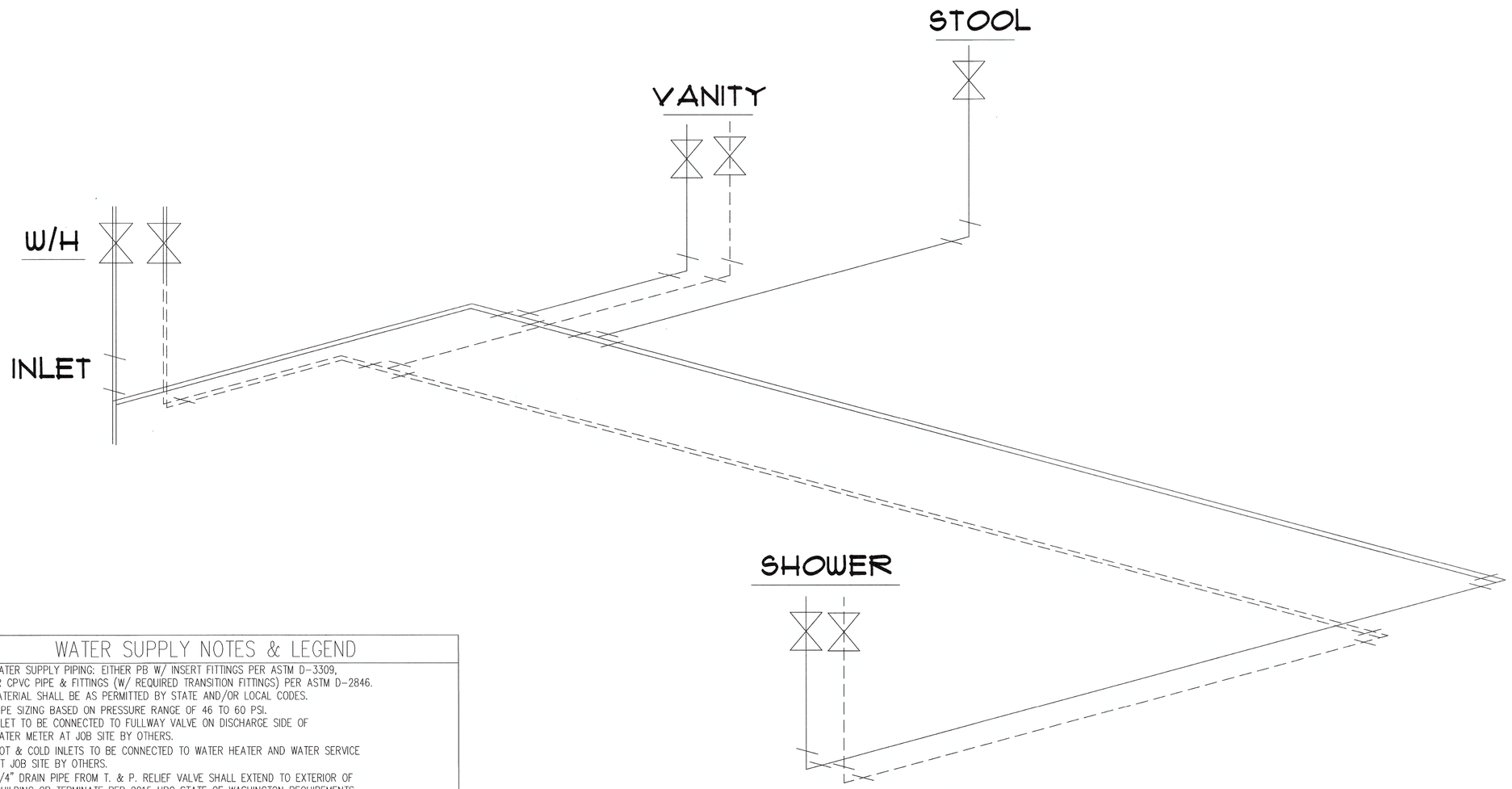
PHILLIP E. ROBBINS
STATE OF WASHINGTON
20033090
REGISTERED
PROFESSIONAL ENGINEER
08/17/2019
EXPIRES 10/15/2019



Phillip E Robbins, P.E.
1777 State Route 167
Victoria, IL 61485
PER191669



P.E. Robbins, P.E. 1777 State Rt 167 Victoria, IL 61485 PER191669




## WATER SUPPLY NOTES & LEGEND

1. WATER SUPPLY PIPING: EITHER PB W/ INSERT FITTINGS PER ASTM D-3309, OR CPVC PIPE & FITTINGS (W/ REQUIRED TRANSITION FITTINGS) PER ASTM D-2846. MATERIAL SHALL BE AS PERMITTED BY STATE AND/OR LOCAL CODES.
2. PIPE SIZING BASED ON PRESSURE RANGE OF 46 TO 60 PSI. INLET TO BE CONNECTED TO FULLWAY VALVE ON DISCHARGE SIDE OF WATER METER AT JOB SITE BY OTHERS.
3. HOT & COLD INLETS TO BE CONNECTED TO WATER HEATER AND WATER SERVICE AT JOB SITE BY OTHERS.
4. 3/4" DRAIN PIPE FROM T. & P. RELIEF VALVE SHALL EXTEND TO EXTERIOR OF BUILDING OR TERMINATE PER 2015 UPC STATE OF WASHINGTON REQUIREMENTS.
5. 3/4" x 6" (MIN.) METAL NIPPLES W/ UNIONS TO WATER HEATER.
6. WATER HEATER PAN AND DRAIN INSTALLED PER 2015 STATE OF WASHINGTON REQUIREMENTS.
7. TUB FILLER SHALL NOT EXCEED 120 DEGREES

| | |
|---|---|
| COLD WATER PIPING | NON-FREEZE HOSE BIBB W/ BACKFLOW PREVENTER |
| HOT WATER PIPING | |
| FIXTURE SUPPLY VALVE | 1/2" ~ PIPE |
| 3/4" FULLWAY VALVE | 3/4" ~ PIPE |

1 / WP-101 WATER PLAN
SCALE: NONE

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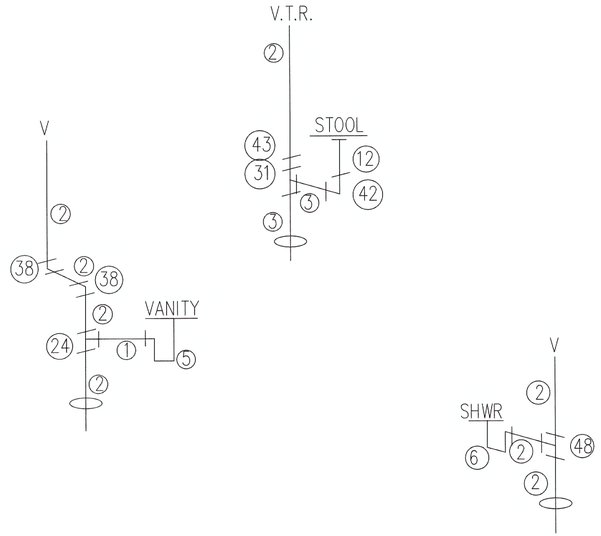
8/11/19

PHILLIP E. ROBBINS STATE OF WASHINGTON 0031056 REGISTERED PROFESSIONAL ENGINEER
08/17/2019
EXPIRES 10/15/2019



Phillip E Robbins, P.E.
1777 State Route 167
Victoria, IL 61485
PER191669




## DRAIN LINE NOTES

1. PIPE AND FITTINGS ARE SHEDULED 40 ABS DWV.
2. CONNECTION OF BUILDING DRAIN OUTLETS TOGETHER & THEIR CONNECTION TO BUILDING SEWER TO BE DONE AT JOB SITE BY OTHERS.
3. OPTIONAL: HORIZONTAL DRAINAGE PIPING THAT RUNS BELOW FLOOR JOISTS MAY BE OMITTED AND ALL VERTICAL DRAIN PIPES STUBBED OFF AT OR ABOVE BOTTOM OF FLOOR JOISTS
4. HORIZONTAL DRAINAGE PIPING SHALL HAVE A UNIFORM SLOPE OF NOT LESS THAN 1/4" PER FOOT.
5. EVERY DRY VENT SHALL RISE VERTICALLY TO A MINIMUM OF 6 INCHES ABOVE THE F.L.R. OF THE HIGHEST TRAP OR TRAPPED FIXTURE BEING VENTED.

V.T.R. VENT THROUGH ROOF (3" PIPE A MINIMUM OF 12" BELOW AND ABOVE THE ROOF LINE)

V. VENT THAT MAY CONNECT TO A V.T.R. OR MAY EXTEND INDIVIDUALLY THROUGH THE ROOF. (3" PIPE A MINIMUM OF 12" BELOW AND ABOVE THE ROOF LINE)

⬭ DENOTES THRU FLOOR

## DRAIN LINE LEGEND

| | | | | | | | | | | | |
|---|---|---|---|---|---|---|---|---|---|---|---|
| 1 | 1-1/2" PIPE | 11 | 3" CLEANOUT PLUG | 21 | 3" LONG SWEEP 1/4 BEND | 31 | 3" L.T.T.Y. | 41 | 3" x 3" x 3" DBL. 1/4 BEND |
| 2 | 2" PIPE | 12 | CLOSET FLANGE | 22 | 1-1/2" SAN. TEE | 32 | 2" x 1-1/2" x 1-1/2" L.T.T.Y. | 42 | 4" x 3" CLOSET BEND |
| 3 | 3" PIPE | 13 | 1-1/2" AUTO VENT | 23 | 2" x 1-1/2" x 1-1/2" SAN. TEE | 33 | 2" x 2" x 1-1/2" L.T.T.Y. | 43 | 3" x 2" FLUSH REDUCER BUSHING |
| 4 | 1-1/2" CONTINUOUS WASTE | 14 | 2" SAN. TEE | 24 | 2" x 2" x 1-1/2" SAN. TEE | 34 | 2" x 1-1/2" x 2" L.T.T.Y. | 44 | 3" x 1-1/2" FLUSH REDUCER BUSHING |
| 5 | 1-1/2" P-TRAP | 15 | 1-1/2" WYE W/ FITTING C.O. ADP. | 25 | 3" x 3" x 1-1/2" SAN. TEE | 35 | 3" x 3" x 1-1/2" L.T.T.Y. | 45 | 2" x 1-1/2" FLUSH REDUCER BUSHING |
| 6 | 2" P-TRAP | 16 | 1-1/2" 1/4 BEND | 26 | 3" x 3" x 2" SAN. TEE | 36 | 3" x 3" x 2" L.T.T.Y. | 46 | 3" WYE |
| 7 | 3" P-TRAP | 17 | 2" 1/4 BEND | 27 | 3" x 3" x 2" x 1-1/2" DBL. SAN. TEE | 37 | 1-1/2" 1/8 BEND | 47 | 3" x 3" x 2" WYE |
| 8 | 3" CAP W/ CHAIN | 18 | 3" 1/4 BEND | 28 | 3" x 3" x 2" x 2" DBL. SAN. TEE | 38 | 2" 1/8 BEND | 48 | 2" SAN. TEE |
| 9 | 1-1/2" CLEANOUT PLUG | 19 | 1-1/2" LONG SWEEP 1/4 BEND | 29 | 1-1/2" L.T.T.Y. | 39 | 3" 1/8 BEND | | |
| 10 | 2" CLEANOUT PLUG | 20 | 2" LONG SWEEP 1/4 BEND | 30 | 2" L.T.T.Y. | 40 | 3" x 3" x 1-1/2" SAN. TEE W/ 2" S. INLET | | |

**PLUMBING ASSEMBLY NOTES:**

**1. INSTALL DEVICES ABOVE FLOOR DECK; SHOWER HEAD-6'6" / SHOWER DIVERTER-48" / TUB SHOWER DIVERTER- 42" / WASHER BOX- 48" / ICEMAKER BOX-16" / MAIN SHUTOFF BOX-16" TO BOTTOM / MAIN SHUTOFF VALVE-24" TO CENTER / HOSE BIBS-12" / DRAINS-19" TO CENTER / WATER HEATER LINES-6'2".**
**2. INSTALL ROOF VENTS MIN 12" ABOVE ROOF DECK.**
**4. WASHINGTON STATE 2015 UPC.**

PLUMBING SYSTEM

1. Plumbing fixtures shall have separate shut-off valves.
2. Water heater shall have a safety pan with 3/4" minimum drain to exterior, T&P relief valve with drain to exterior, and a shut off valve within 3' on a cold water supply line.
3. Water pipes installed in a wall exposed to the exterior shall be located on the heated side of the wall insulation. Water piping installed in an unconditioned attic shall be insulated with R6.5 insulation minimum.
4. DWV system shall be either ABS or PVC
5. Water supply lines shall be polybutylene, CPVC, copper or PEX; when polybutylene supply line are installed the maximum water heater temperature setting shall not exceed 180º F.
6. Polybutylene pipe shall be installed in accordance with the manufacturers limitations and instructions.
7. Building drain and cleanouts are to be designed by others on site and subject to review and approval by the local authority having jurisdiction.
8. Tub access provided under home unless otherwise noted.
9. Shower stalls shall be covered with non-absorbent material to a height of 72" above the finish floor.
10. A thermal expansion device shall be provided at the water heater if required by the manufacturer's installation instructions.
11. A water hammer arrestor shall be installed where quick closing valves are utilized, unless otherwise approved. Water hammer arrestors shall be installed in accordance with manufacturer's installation instructions.
12. Building must be connected to a public water supply and sewer system if available.
13. Shower and tub/shower combination valves shall be equipped with control valves of the pressure-balance, thermostatic-mixing or combination pressure-balance/thermostatic-mixing valve types with a high limit stop in accordance with ASSE 1016 or CSA B125. High limit stop shall limit the maximum water temperature to 120° F.
14. Bathtubs and whirlpool bathtubs hot water shall be limited to a maximum temperature of 120° F by a water temperature limiting device.
15. Protect all penetrations of rated assemblies.
16. Pex Pipe or Tubing is not allowed to be installed within the first 18" of piping connected to Water Heater.

1
PP-101
DWV PLUMBING PLAN
SCALE: NONE

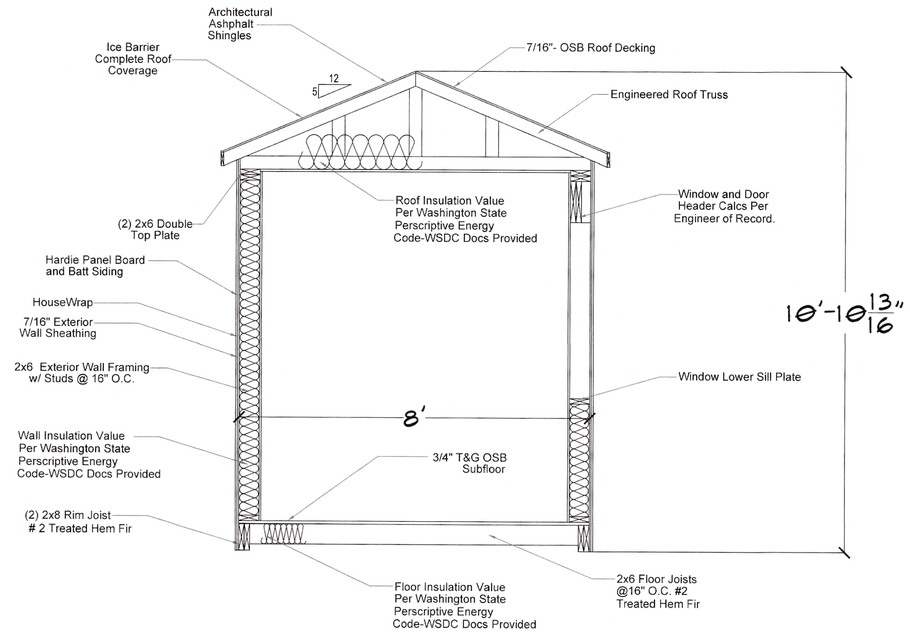
Phillip E Robbins, P.E.
1777 State Route 167
Victoria, IL 61485
PER191669

CarriageHouses
4000 88th St NE, Marysville,WA 98271

**Veterans Village Cottage Home**
**1301 Orting Kapowsin Hwy East**
**Orting, WA 98360**

Date Started:
8/11/19

PHILLIP E. ROBBINS
STATE OF WASHINGTON
19332
REGISTERED
PROFESSIONAL ENGINEER
08/17/2019
EXPIRES 10/15/2019




**FRAMING NOTES:**

1. PLATE TO STUD 2x6 3-.131"x3" NAILS, 2x4 2-.131"x3" NAILS.
2. DOUBLE 2x6 OR 2x4 TWO ROWS 2-.131"x3" NAILS @ 16" STAGGERED.
3. FLOOR RIM AND BEAM PLYS TO BE FASTENED WITH 3 ROWS .131"x3" NAILS @ 12".
4. LEDGER TO BEAM FASTEN WITH 3 ROWS GALVANIZED .131"x3" NAILS @ 12"
5. STUDS TO BE STUD GRADE, PLATE TO BE #2 OR BETTER.
6. APPLY GWB PANEL ADHESIVE BEAD ON INTERMEDIATE STUDS AND TWO BEADS ON STUDS WHERE TWO PANELS MEET.
7. NONRATED WALLS WITH 1/2 GWB TO USE 1-3/8" NAIL OR 1-1/8" SCREWS @ 16" WITH ADHESIVE.
8. HEADER PLYS TO BE FASTENED WITH 3 ROWS .131"x3" NAILS @ 8".
9. HEADERS TO BE 2x12 U.N.O. CAVITIES TO BE INSULATED.
10. TWO STUD CORNERS ALL LOCATIONS U.N.O.
11. MINIMUM TOP PLATE LAP TO BE 24" WITH 8 - .131"x3" NAILS.
12. SIDEWALL MATERIAL: 2X6 SPF #2 OR BETTER.
13. All 2x Framing Member are to be SPF #2 of Equivilant unless Noted Otherwise

**FASTENING SHEATHING AND SUBFLOORING:**

1. APPLY CONSTRUCTION ADHESIVE ON EACH JOIST FOR SUBFLOORING
2. FASTEN SUBFLOORING WITH .131"x2 3/8" NAILS SPACED AT 6" AT PANEL EDGES AND 12" IN THE FIELD.
3. APPLY CONSTRUCTION ADHESIVE ON EXTERIOR WALL FRAMING FOR EXTERIOR WALL SHEATHING.
4. FASTEN EXTERIOR WALL SHEATHING WITH .131"x2" NAILS. SPACED AT 6" AT PANEL EDGES AND 12" IN THE FIELD U.N.O.
5. ENTRY WALL SHEATHING USE 3" AT EDGES AND 12" IN THE FIELD.
6. FASTEN ROOF SHEATHING WITH .131"x2" NAILS SPACED AT 6" AT PANEL EDGES AND 12" IN THE FIELD U.N.O. 7. FASTEN ROOF TRUSS BOTTOM CHORD TO TOP PLATE WITH 1-SIMPSON SDW22X6" SCREWS U.N.O.
8. WALL ADHESIVES NOT INCLUDED IN STRUCTURAL CALCULATIONS.

1 / S-101 SECTION
SCALE: NONE

CarriageHouses NORTHWEST
4000 88th St NE, Marysville,WA 98271

**Veterans Villiage Cottage Home**
**1301 Orting Kapowsin Hwy East**
**Orting, WA 98360**

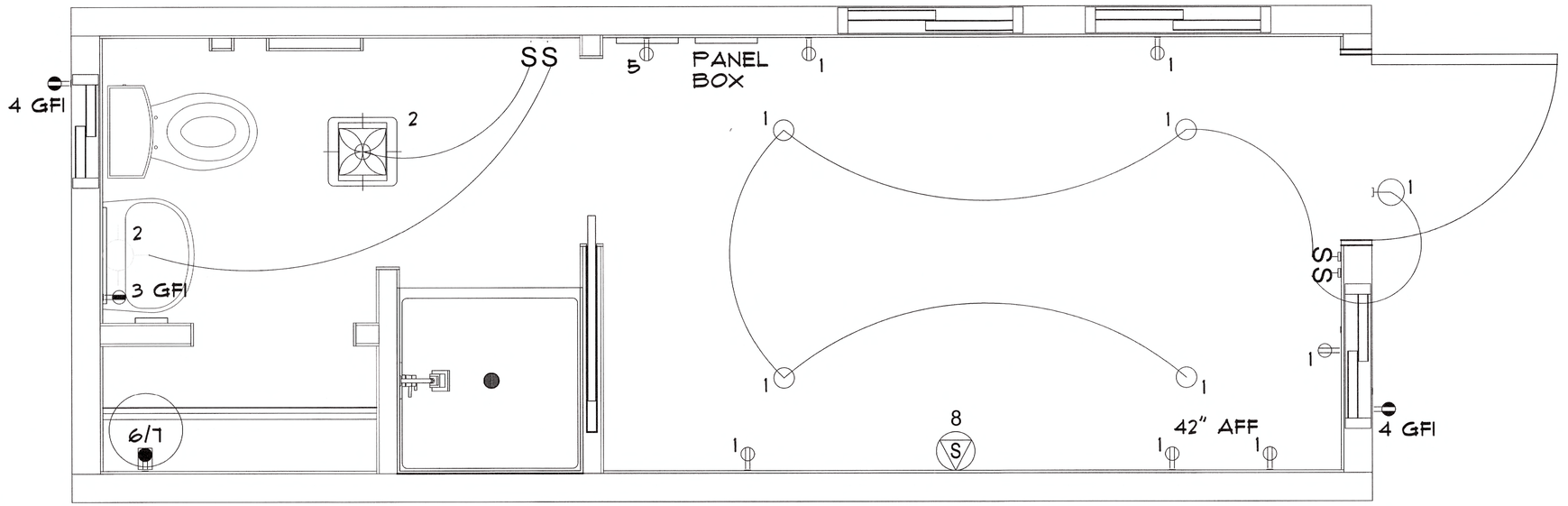
Date Started:
8/11/19

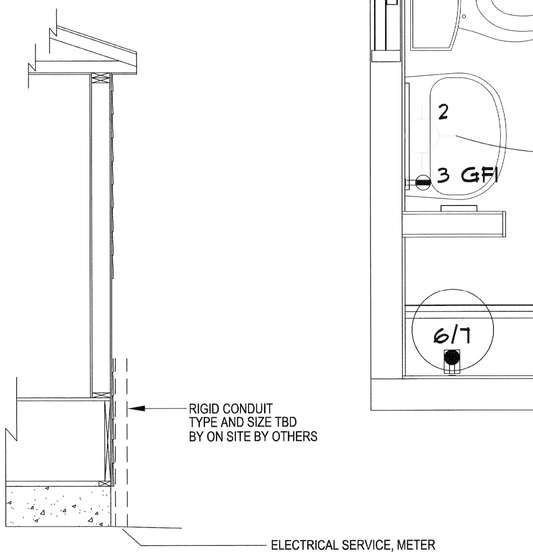
PHILLIP E. ROBBINS
STATE OF WASHINGTON
OREGON
REGISTERED
PROFESSIONAL ENGINEER

08/17/2019
EXPIRES 10/15/2019

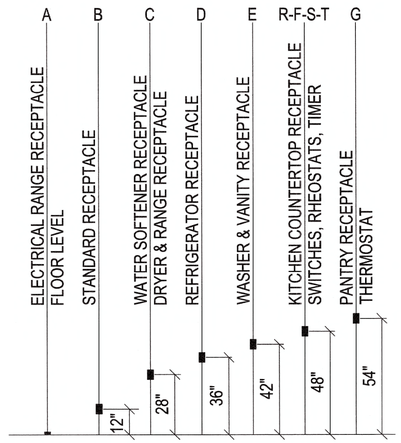


Phillip E Robbins, P.E.
1777 State Route 167
Victoria, IL 61485
PER191669




| CIRCUIT CODE | | | |
|---|---|---|---|
| CIRCUIT | DESCRIPTION | AMPS | WIRE |
| 1 | LIGHTS & RECEP LIVING ROOM - ARC FAULT | 20 | 12-2 W/G |
| 2 | LIGHTS BATHROOM - ARC FAULT | 20 | 12-2 W/G |
| 3 | RECEPS - BATH - ARC FAULT | 20 | 12-2 W/G |
| 4 | RECEPS - EXTERIOR - ARC FAULT | 20 | 12-2 W/G |
| 5 | RECEP - WALL HEATER - ARC FAULT | 20 | 12-2 W/G |
| 6/7 | RECEP - WATER HEATER - ARC FAULT | 20 | 12-2 W/G |
| | | | |




## ELECTRICAL LEGEND

- INTERIOR DUPLEX RECEPT
- INTERIOR SINGLE RECEPT
- GFI INTERIOR GROUND FAULT DUPLEX RECEPT
- GFI EXTERIOR GROUND FAULT DUPLEX RECEPT
- EXTERIOR DUPLEX RECEPT
- FLOOR DUPLEX RECEPT
- GFI SOFFIT GROUND FAULT DUPLEX RECEPT
- ELECTRIC RANGE RECEPT
- DRYER RECEPT
- 220 OUTLET
- T THERMOSTAT
- S SMOKE DETECTOR
- S SMOKE-CO DETECTOR
- S SWITCH
- S3 3-WAY SWITCH
- R RHEOSTAT
- R3 3-WAY RHEOSTAT
- T TIMER SWITCH
- PANEL BOX
- JACK SYMBOL FOR TV, PH, CA5, WPH
- TV CABLE JACK
- PH PHONE JACK
- CA5 DATA JACK
- WPH WALL PHONE JACK

## ELECTRICAL NOTES

1. ALL 125-VOLT, 15 & 20 AMP RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES.
2. OUTDOOR RECEPTACLES EQUIPPED WITH IN USE WEATHER PROOF COVERS & "EXTRA DUTY" TYPE.
3. ALL RECEPTACLE AND SWITCH LOCATIONS ARE TYPICAL HEIGHT U.N.O.
4. NO AMP CONNECTORS - ALL CONNECTIONS MUST BE MADE IN BOX. (NORTH DAKOTA ONLY)
5. LIGHTS WITH DIMENSIONS WILL BE LOCATED IN DROPPED CEILINGS.
6. EXTERIOR LIGHTS ARE TO BE LISTED FOR WET LOCATIONS.

1 / EP-101 ELECTRICAL PLAN
SCALE: NONE

CarriageHouses
4000 88th St NE, Marysville,WA 98271

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**1301 Orting Kapowsin Hwy East**
**Orting, WA 98360**

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8/11/19

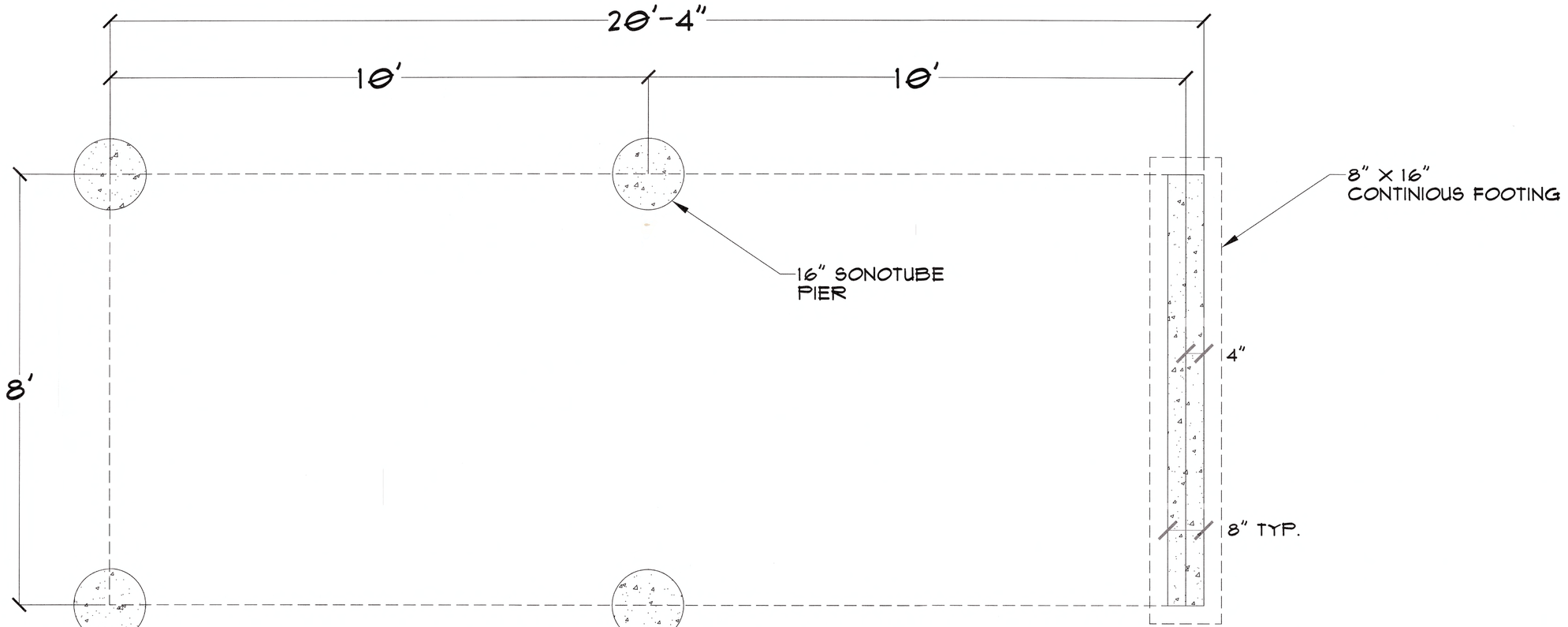
PHILLIP E. ROBBINS
STATE OF WASHINGTON
REGISTERED
PROFESSIONAL ENGINEER
08/17/2019
EXPIRES: 10/15/2019

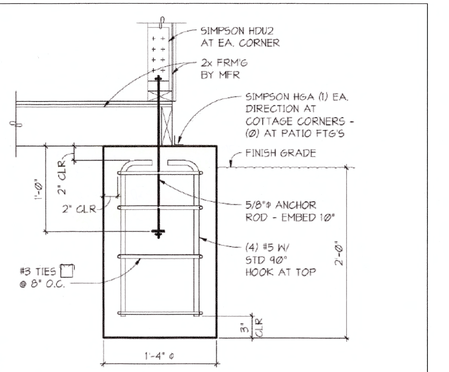


Phillip E Robbins, P.E.
1777 State Route 167
Victoria, IL 61485
PER191669

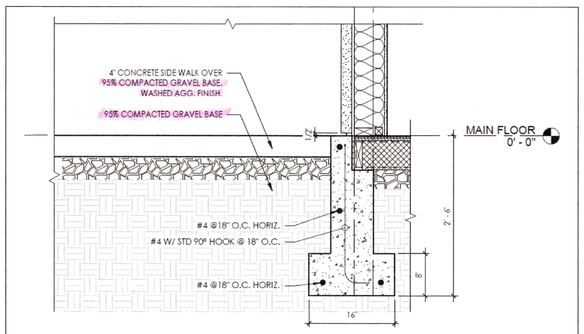


P.E. Robbins, P.E. 1777 State Rt 167 Victoria, IL 61485 PER191669




4 A9.21 **FOOTING DETAIL**
1" = 1'-0"




3 A9.21 **WALL/ FOOTING DETAIL**
1" = 1'-0"

THIS IS A GENERAL FOUNDATION LAYOUT. THE SIZES OF FOOTINGS, FOUNDATION WALLS ARE SHOWN TO MEET MIN REQUIREMENTS OF 2015 IBC. IF THERE ARE ANY SPECIAL CONDITIONS THAT NEED TO TO BE MEET PER THE SITE, THE ENGINEER OF RECORED WILL NEED VERIFY THE CHANGES THAT NEED TO ME MADE. THE POINT LOADS AND ANY SPECIAL FOUNDATION STRAPING REQUIRED WILL BE PROVIDED TO THE GENERAL CONTRACTOR BY CARRIAGE HOUSES NORTHWEST ENGINEERING GROUP AS NEEDED.

1 F-101 **FOUNDATION**
SCALE: NONE

Phillip E Robbins, P.E.
1777 State Route 167
Victoria, IL 61485
PER191669

CarriageHouses
4000 88th St NE, Marysville,WA 98271

**Veterans Villiage Cottage Home**
**1301 Orting Kapowsin Hwy East**
**Orting, WA 98360**

Date Started:
8/11/19

PHILLIP E. ROBBINS
STATE OF WASHINGTON
00030090
REGISTERED
PROFESSIONAL ENGINEER

08/17/2019
EXPIRES 10/15/2019

# VV Cott-Orting ADA 2019 – 009
# CARRIAGE HOUSES NORTHWEST

WASHINGTON ENERGY CODE NOTES
Climate Zone: 5b
Door U-Factor: 0.36
Window U-Factor: 0.29
Window SHGC: 0.35

GENERAL
1. Occupancy is A3
2. Construction is Type VB.
3. Data plate and modular label are affixed to the inside of the electrical panel box cover unless noted on the floor plan.

NOTICE TO LOCAL ENFORCEMANT ACENCY (NLEA)
Third party approval applies only to the factory built portion of this building and additional work is required on-site. All work to be completed on-site is to be in compliance with all state and local codes and is subject to review, approval, and inspection by the local authority having jurisdiction. This building is designed for installation on a permanent foundation and is not intended to be moved once installed. All on-site work shall be the responsibility of the builder. The following list is not all inclusive, nor does it limit the items of work or materials that may be required for complete installation.
1. Complete foundation support and anchorage system designed by an engineer licensed in the State the Structure is to be built.
2. Ramps, stairs and general access to building.
3. Portable fire extinguisher(s), if required.
4. Building drains, clean outs, and connection to plumbing system completed and tested on-site by licensed Plumber.
5. Extension of vents and/or chimneys through the roof to the outside.
6. Electrical service connection (including feeders) to the building by licensed Electrician.
7. Main electrical panel and sub-feeders (multi-dwelling buildings only).
8. Connection of electrical circuits crossing over module mating line(s) (multi-units only).
9. Electrical fixtures not installed in the plant.
10. When exterior receptacles are provided and are not accessible from grade due to side conditions, additional recepts shall be installed.
11. Gable endwall framing (if hinged roof).
12. Structural and aesthetic interconnection between modules (multi-wide units only).
13. Exterior shingles, siding, wall finish and soffit material, not installed in the factory.

SPECIAL CONDITIONS AND LIMITATIONS
1. The installation of this building is limited to the geographical locations that were within the scope of the structural design loads and climate zones specified on this page.
2. See the "ATTENTION (NLEA)" notes for additional information.
3. Building is not to be located in a flood plain area.

**DESIGN BASIS**

| State/Jurisdiction | Washington |
|---|---|
| Building Code | 2015 International Building Code of Washington |
| Electrical Code | 2017 National Electrical Code of Washington |
| Plumbing Code | 2015 Univerisal Plumbing Code of Washington |
| Mechanical Code | 2015 International Mechanical Code of Washington |
| Energy Code | 2015 International Energy Conservation Code of Washington |

**DESIGN CRITERIA**

| | |
|---|---|
| Floor Live | 40 psf |
| Floor Dead | 15 psf |
| Roof Snow Load | 25 psf |
| Wind Speed | 85 mph (Vasd) -110 mph (Vult) |
| Exposure Category | B |
| Seismic Design Catagory | Class D |
| Permissible Type of Fuel for Appliances | Electric |

**DRAWING INDEX**



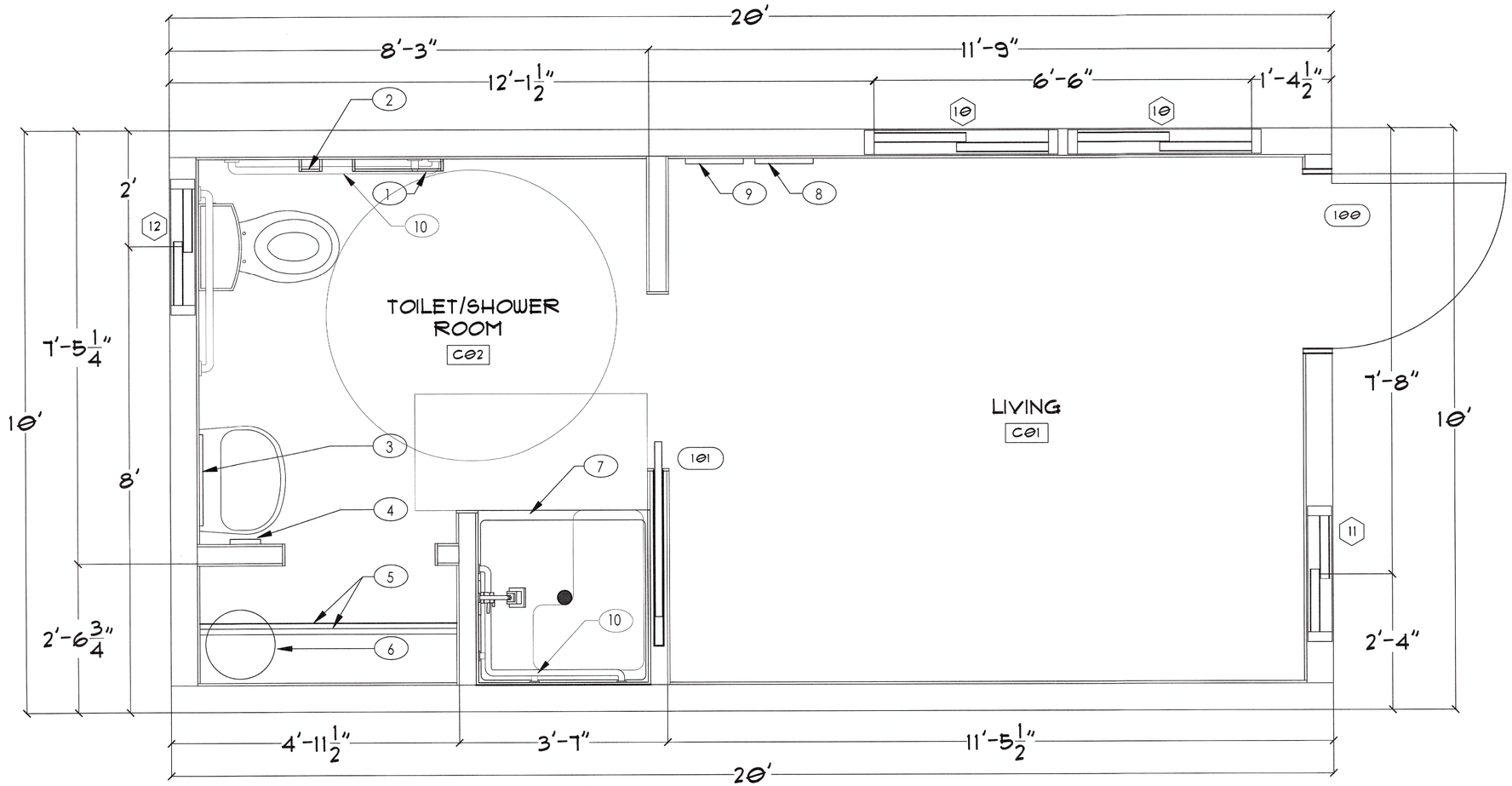
1
CV-101
COVER SHEET
SCALE: NONE


CarriageHouses
4000 88th St NE, Marysville,WA 98271


**Veterans Villiage Cottage ADA Home**
**1301 Orting Kapowsin Hwy East**
**Orting, WA 98360**

Date Started:
8/11/19

PHILLIP E. ROBBINS
STATE OF WASHINGTON
0032090
REGISTERED
PROFESSIONAL ENGINEER
08/17/2019
EXPIRES: 10/15/2019




Keynotes

1 18" TOWEL BAR, PROVIDE BLOCKING 24"Wx8"H @ 4'-0" AFF.
2 TOILET PAPER ROLL HOLDER, PROVIDE BLOCKING 8"Wx8"H @ 15" AFF.
3 MIRROR, PROVIDE BLOCKING.
4 TOWEL RING, PROVIDE BLOCKING 24"Wx8"H @ 3'-8" AFF.
5 ADJUSTABLE CLOSET SHELF & POLE.
6 WALL MOUNTED WATER HEATER, 40 GAL.
7 3'-0" X 3'-0" FIBERGLASS SHOWER UNIT & ADA FOLD DOWN BENCH.
8 ELECTRICAL PANEL PER ELECTRICAL.
9 WALL MOUNTED HEATER
10 ADA GRAB BAR

**EXTERIOR DOOR SCHEDULE**

| ID # | QTY | DESCRIPTION | SWING | JAMB | COMMENTS |
|---|---|---|---|---|---|
| 100 | 1 | 36"x80" | LEFT | 6" | |
| | | | | | |

**INTERIOR DOOR SCHEDULE**

| ID # | QTY | DESCRIPTION | SWING | JAMB | COMMENTS |
|---|---|---|---|---|---|
| 101 | 1 | 36"x80" POCKET DOOR | - | 4 1/2" | |
| | | | | | |

**WINDOW SCHEDULE**

| ID # | QTY | DESCRIPTION | COMMENTS |
|---|---|---|---|
| 10 | 2 | 36"x48" SLIDER | |
| 11 | 1 | 24"x36" SLIDER | |
| 12 | 1 | 24"x24" SLIDER | |

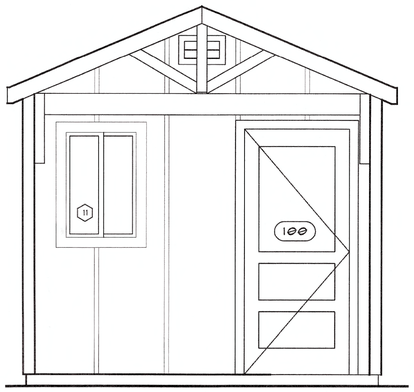
1 / FP-101 FLOORPLAN
SCALE: NONE

CarriageHouses Northwest
4000 88th St NE, Marysville,WA 98271

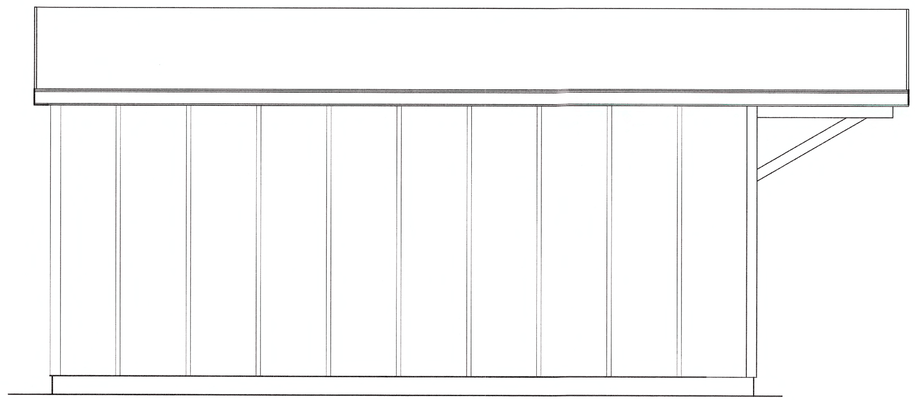
**Veterans Villiage Cottage ADA Home**
**1301 Orting Kapowsin Hwy East**
**Orting, WA 98360**

Date Started:
8/11/19

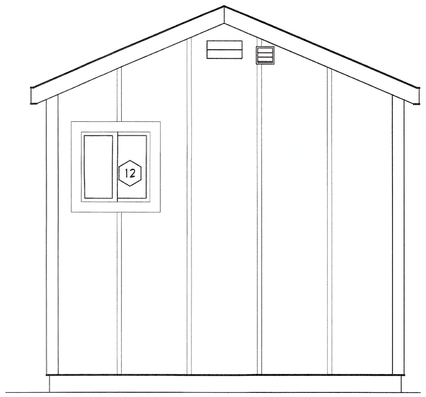
PHILLIP E. ROBBINS
STATE OF WASHINGTON
22022000
REGISTERED ENGINEER
PROFESSIONAL ENGINEER
08/12/2019
EXPIRES 10/15/2019



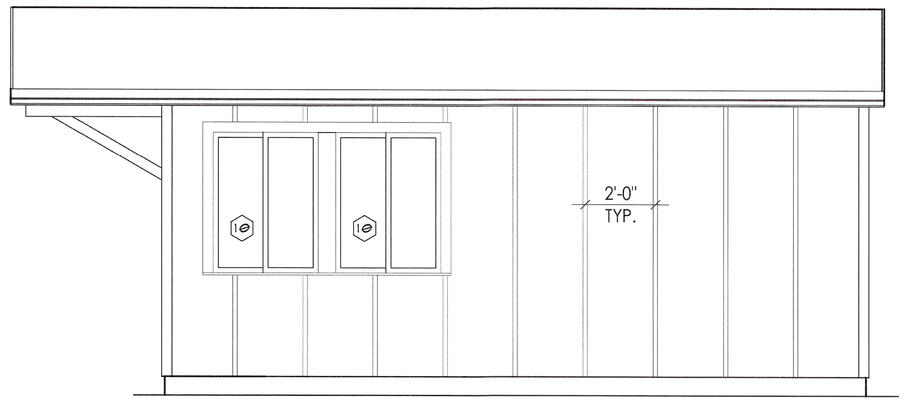
FRONT ELEVATION



LEFT ELEVATION



REAR ELEVATION




RIGHT ELEVATION

1
EV-101

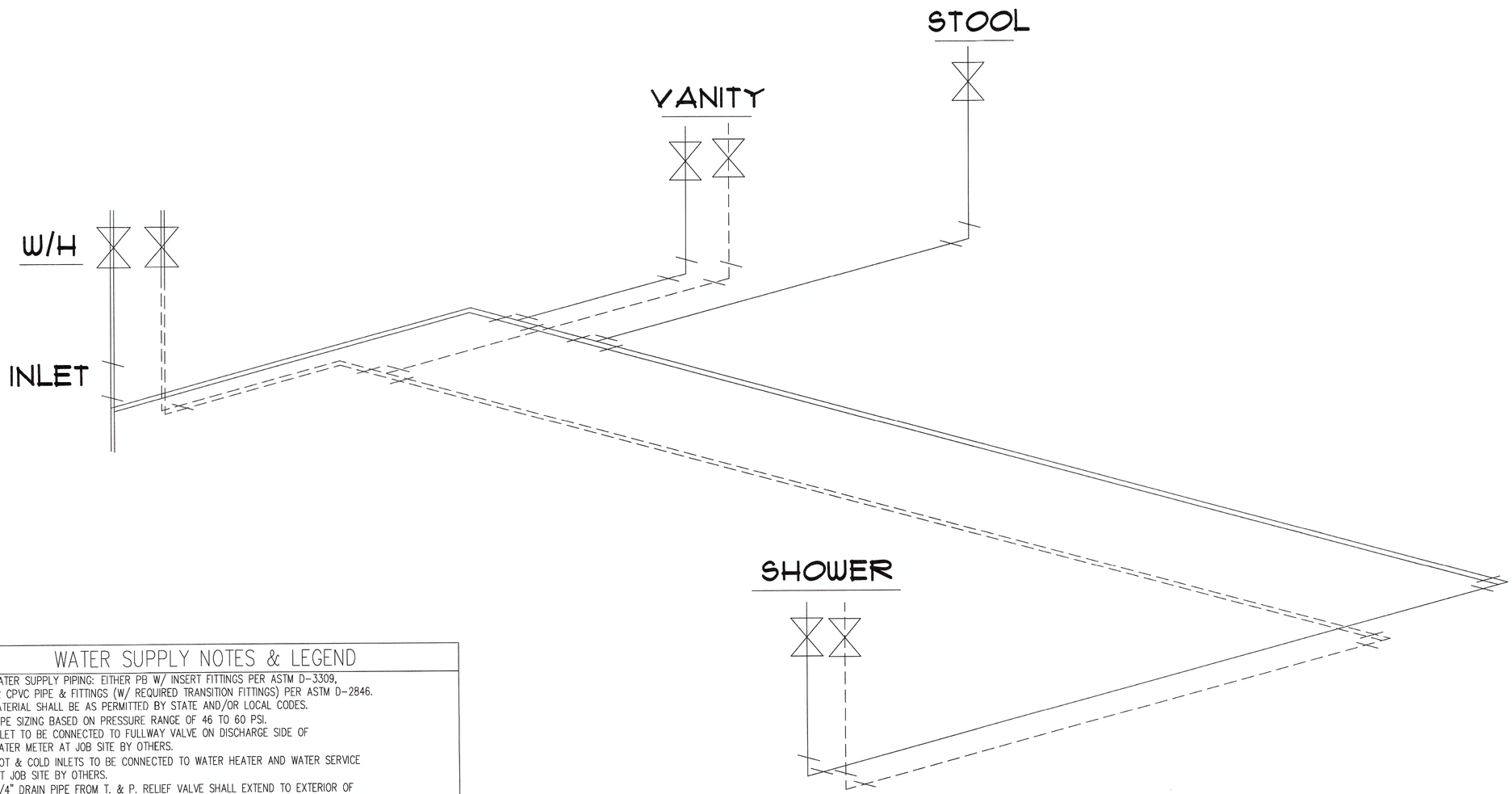
ELEVATIONS
SCALE: NONE

CarriageHouses
4000 88th St NE, Marysville,WA 98271

**Veterans Villiage Cottage ADA Home**
**1301 Orting Kapowsin Hwy East**
**Orting, WA 98360**

Date Started:
8/11/19

PHILLIP E. ROBBINS
STATE OF WASHINGTON
20032090
REGISTERED
PROFESSIONAL ENGINEER
08/27/2019
EXPIRES: 10/15/2019




## WATER SUPPLY NOTES & LEGEND

1. WATER SUPPLY PIPING: EITHER PB W/ INSERT FITTINGS PER ASTM D-3309, OR CPVC PIPE & FITTINGS (W/ REQUIRED TRANSITION FITTINGS) PER ASTM D-2846. MATERIAL SHALL BE AS PERMITTED BY STATE AND/OR LOCAL CODES.
2. PIPE SIZING BASED ON PRESSURE RANGE OF 46 TO 60 PSI. INLET TO BE CONNECTED TO FULLWAY VALVE ON DISCHARGE SIDE OF WATER METER AT JOB SITE BY OTHERS.
3. HOT & COLD INLETS TO BE CONNECTED TO WATER HEATER AND WATER SERVICE AT JOB SITE BY OTHERS.
4. 3/4" DRAIN PIPE FROM T. & P. RELIEF VALVE SHALL EXTEND TO EXTERIOR OF BUILDING OR TERMINATE PER 2015 UPC STATE OF WASHINGTON REQUIREMENTS.
5. 3/4" x 6" (MIN.) METAL NIPPLES W/ UNIONS TO WATER HEATER.
6. WATER HEATER PAN AND DRAIN INSTALLED PER 2015 STATE OF WASHINGTON REQUIREMENTS.
7. TUB FILLER SHALL NOT EXCEED 120 DEGREES

| | |
|---|---|
| COLD WATER PIPING | NON-FREEZE HOSE BIBB W/ BACKFLOW PREVENTER |
| HOT WATER PIPING | |
| FIXTURE SUPPLY VALVE | 1/2" ~ PIPE |
| 3/4" FULLWAY VALVE | 3/4" ~ PIPE |

1 / WP-101 WATER PLAN
SCALE: NONE

CarriageHouses
4000 88th St NE, Marysville,WA 98271

**Veterans Villiage Cottage ADA Home**
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PHILLIP E. ROBBINS
STATE OF WASHINGTON
0032090
REGISTERED
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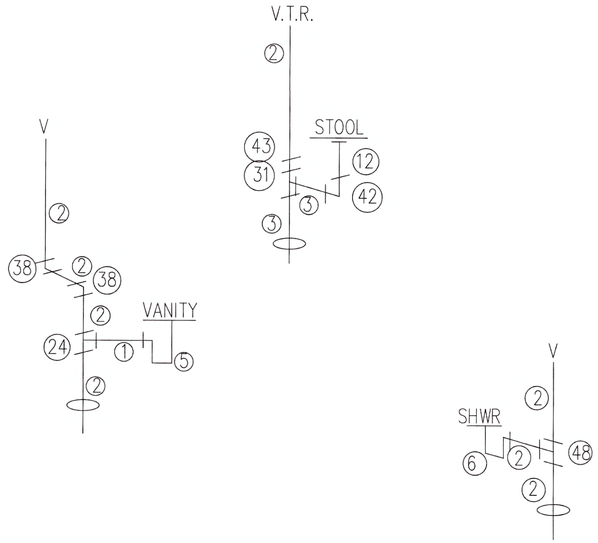



## DRAIN LINE NOTES

1. PIPE AND FITTINGS ARE SHEDULED 40 ABS DWV.
2. CONNECTION OF BUILDING DRAIN OUTLETS TOGETHER & THEIR CONNECTION TO BUILDING SEWER TO BE DONE AT JOB SITE BY OTHERS.
3. OPTIONAL: HORIZONTAL DRAINAGE PIPING THAT RUNS BELOW FLOOR JOISTS MAY BE OMITTED AND ALL VERTICAL DRAIN PIPES STUBBED OFF AT OR ABOVE BOTTOM OF FLOOR JOISTS
4. HORIZONTAL DRAINAGE PIPING SHALL HAVE A UNIFORM SLOPE OF NOT LESS THAN 1/4" PER FOOT.
5. EVERY DRY VENT SHALL RISE VERTICALLY TO A MINIMUM OF 6 INCHES ABOVE THE F.L.R. OF THE HIGHEST TRAP OR TRAPPED FIXTURE BEING VENTED.

V.T.R. VENT THROUGH ROOF (3" PIPE A MINIMUM OF 12" BELOW AND ABOVE THE ROOF LINE)

V. VENT THAT MAY CONNECT TO A V.T.R. OR MAY EXTEND INDIVIDUALLY THROUGH THE ROOF. (3" PIPE A MINIMUM OF 12" BELOW AND ABOVE THE ROOF LINE)

⬭ DENOTES THRU FLOOR

## DRAIN LINE LEGEND

| | | | | | | | | | | | |
|---|---|---|---|---|---|---|---|---|---|---|---|
| 1 | 1-1/2" PIPE | 11 | 3" | CLEANOUT PLUG | 21 | 3" | LONG SWEEP 1/4 BEND | 31 | 3" | L.T.T.Y. | 41 | 3" x 3" x 3" | DBL. 1/4 BEND |
| 2 | 2" PIPE | 12 | | CLOSET FLANGE | 22 | 1-1/2" | SAN. TEE | 32 | 2" x 1-1/2" x 1-1/2" | L.T.T.Y. | 42 | 4" x 3" | CLOSET BEND |
| 3 | 3" PIPE | 13 | 1-1/2" | AUTO VENT | 23 | 2" x 1-1/2" x 1-1/2" | SAN. TEE | 33 | 2" x 2" x 1-1/2" | L.T.T.Y. | 43 | 3" x 2" | FLUSH REDUCER BUSHING |
| 4 | 1-1/2" CONTINUOUS WASTE | 14 | 2" | SAN. TEE | 24 | 2" x 2" x 1-1/2" | SAN. TEE | 34 | 2" x 1-1/2" x 2" | L.T.T.Y. | 44 | 3" x 1-1/2" | FLUSH REDUCER BUSHING |
| 5 | 1-1/2" P-TRAP | 15 | 1-1/2" | WYE W/ FITTING C.O. ADP. | 25 | 3" x 3" x 1-1/2" | SAN. TEE | 35 | 3" x 3" x 1-1/2" | L.T.T.Y. | 45 | 2" x 1-1/2" | FLUSH REDUCER BUSHING |
| 6 | 2" P-TRAP | 16 | 1-1/2" | 1/4 BEND | 26 | 3" x 3" x 2" | SAN. TEE | 36 | 3" x 3" x 2" | L.T.T.Y. | 46 | 3" | WYE |
| 7 | 3" P-TRAP | 17 | 2" | 1/4 BEND | 27 | 3" x 3" x 2" x 1-1/2" | DBL. SAN. TEE | 37 | 1-1/2" | 1/8 BEND | 47 | 3" x 3" x 2" | WYE |
| 8 | 3" CAP W/ CHAIN | 18 | 3" | 1/4 BEND | 28 | 3" x 3" x 2" x 2" | DBL. SAN. TEE | 38 | 2" | 1/8 BEND | 48 | 2" SAN. TEE | |
| 9 | 1-1/2" CLEANOUT PLUG | 19 | 1-1/2" | LONG SWEEP 1/4 BEND | 29 | 1-1/2" | L.T.T.Y. | 39 | 3" | 1/8 BEND | | | |
| 10 | 2" CLEANOUT PLUG | 20 | 2" | LONG SWEEP 1/4 BEND | 30 | 2" | L.T.T.Y. | 40 | 3" x 3" x 1-1/2" | SAN. TEE W/ 2" S. INLET | | | |

**PLUMBING ASSEMBLY NOTES:**

**1. INSTALL DEVICES ABOVE FLOOR DECK; SHOWER HEAD-6'6" / SHOWER DIVERTER-48" / TUB SHOWER DIVERTER- 42" / WASHER BOX- 48" / ICEMAKER BOX-16" / MAIN SHUTOFF BOX-16" TO BOTTOM / MAIN SHUTOFF VALVE-24" TO CENTER / HOSE BIBS-12" / DRAINS-19" TO CENTER / WATER HEATER LINES-6'2".**
**2. INSTALL ROOF VENTS MIN 12" ABOVE ROOF DECK.**
**4. WASHINGTON STATE 2015 UPC.**

PLUMBING SYSTEM

1. Plumbing fixtures shall have separate shut-off valves.
2. Water heater shall have a safety pan with 3/4" minimum drain to exterior, T&P relief valve with drain to exterior, and a shut off valve within 3' on a cold water supply line.
3. Water pipes installed in a wall exposed to the exterior shall be located on the heated side of the wall insulation. Water piping installed in an unconditioned attic shall be insulated with R6.5 insulation minimum.
4. DWV system shall be either ABS or PVC
5. Water supply lines shall be polybutylene, CPVC, copper or PEX; when polybutylene supply line are installed the maximum water heater temperature setting shall not exceed 180º F.
6. Polybutylene pipe shall be installed in accordance with the manufacturers limitations and instructions.
7. Building drain and cleanouts are to be designed by others on site and subject to review and approval by the local authority having jurisdiction.
8. Tub access provided under home unless otherwise noted.
9. Shower stalls shall be covered with non-absorbent material to a height of 72" above the finish floor.
10. A thermal expansion device shall be provided at the water heater if required by the manufacturer's installation instructions.
11. A water hammer arrestor shall be installed where quick closing valves are utilized, unless otherwise approved. Water hammer arrestors shall be installed in accordance with manufacturer's installation instructions.
12. Building must be connected to a public water supply and sewer system if available.
13. Shower and tub/shower combination valves shall be equipped with control valves of the pressure-balance, thermostatic-mixing or combination pressure-balance/thermostatic-mixing valve types with a high limit stop in accordance with ASSE 1016 or CSA B125. High limit stop shall limit the maximum water temperature to 120° F.
14. Bathtubs and whirlpool bathtubs hot water shall be limited to a maximum temperature of 120° F by a water temperature limiting device.
15. Protect all penetrations of rated assemblies.
16. Pex Pipe or Tubing is not allowed to be installed within the first 18" of piping connected to Water Heater.

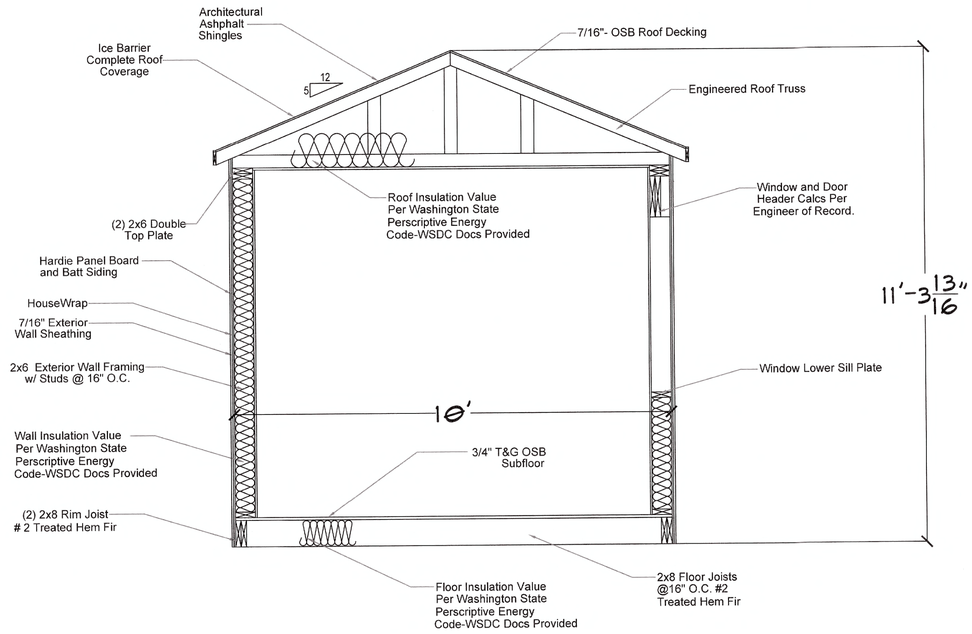
1 / PP-101 DWV PLUMBING PLAN
SCALE: NONE

CarriageHouses NORTHWEST
4000 88th St NE, Marysville, WA 98271

**Veterans Village Cottage ADA Home**
**1301 Orting Kapowsin Hwy East**
**Orting, WA 98360**

Date Started:
8/11/19

PHILLIP E. ROBBINS
STATE OF WASHINGTON
20032
REGISTERED
PROFESSIONAL ENGINEER
08/11/2019
EXPIRES 10/15/2019




## FRAMING NOTES:

1. PLATE TO STUD 2x6 3-.131"x3" NAILS, 2x4 2-.131"x3" NAILS.
2. DOUBLE 2x6 OR 2x4 TWO ROWS 2-.131"x3" NAILS @ 16" STAGGERED.
3. FLOOR RIM AND BEAM PLYS TO BE FASTENED WITH 3 ROWS .131"x3" NAILS @ 12".
4. LEDGER TO BEAM FASTEN WITH 3 ROWS GALVANIZED .131"x3" NAILS @ 12"
5. STUDS TO BE STUD GRADE, PLATE TO BE #2 OR BETTER.
6. APPLY GWB PANEL ADHESIVE BEAD ON INTERMEDIATE STUDS AND TWO BEADS ON STUDS WHERE TWO PANELS MEET.
7. NONRATED WALLS WITH 1/2 GWB TO USE 1-3/8" NAIL OR 1-1/8" SCREWS @ 16" WITH ADHESIVE.
8. HEADER PLYS TO BE FASTENED WITH 3 ROWS .131"x3" NAILS @ 8".
9. HEADERS TO BE 2x12 U.N.O. CAVITIES TO BE INSULATED.
10. TWO STUD CORNERS ALL LOCATIONS U.N.O.
11. MINIMUM TOP PLATE LAP TO BE 24" WITH 8 - .131"x3" NAILS.
12. SIDEWALL MATERIAL: 2X6 SPF #2 OR BETTER.
13. All 2x Framing Member are to be SPF #2 of Equivilant unless Noted Otherwise

**FASTENING SHEATHING AND SUBFLOORING:**

1. APPLY CONSTRUCTION ADHESIVE ON EACH JOIST FOR SUBFLOORING
2. FASTEN SUBFLOORING WITH .131"x2 3/8" NAILS SPACED AT 6" AT PANEL EDGES AND 12" IN THE FIELD.
3. APPLY CONSTRUCTION ADHESIVE ON EXTERIOR WALL FRAMING FOR EXTERIOR WALL SHEATHING.
4. FASTEN EXTERIOR WALL SHEATHING WITH .131"x2" NAILS. SPACED AT 6" AT PANEL EDGES AND 12" IN THE FIELD U.N.O.
5. ENTRY WALL SHEATHING USE 3" AT EDGES AND 12" IN THE FIELD.
6. FASTEN ROOF SHEATHING WITH .131"x2" NAILS SPACED AT 6" AT PANEL EDGES AND 12" IN THE FIELD U.N.O. 7. FASTEN ROOF TRUSS BOTTOM CHORD TO TOP PLATE WITH 1-SIMPSON SDW22X6" SCREWS U.N.O.
8. WALL ADHESIVES NOT INCLUDED IN STRUCTURAL CALCULATIONS.

1 / S-101 SECTION
SCALE: NONE

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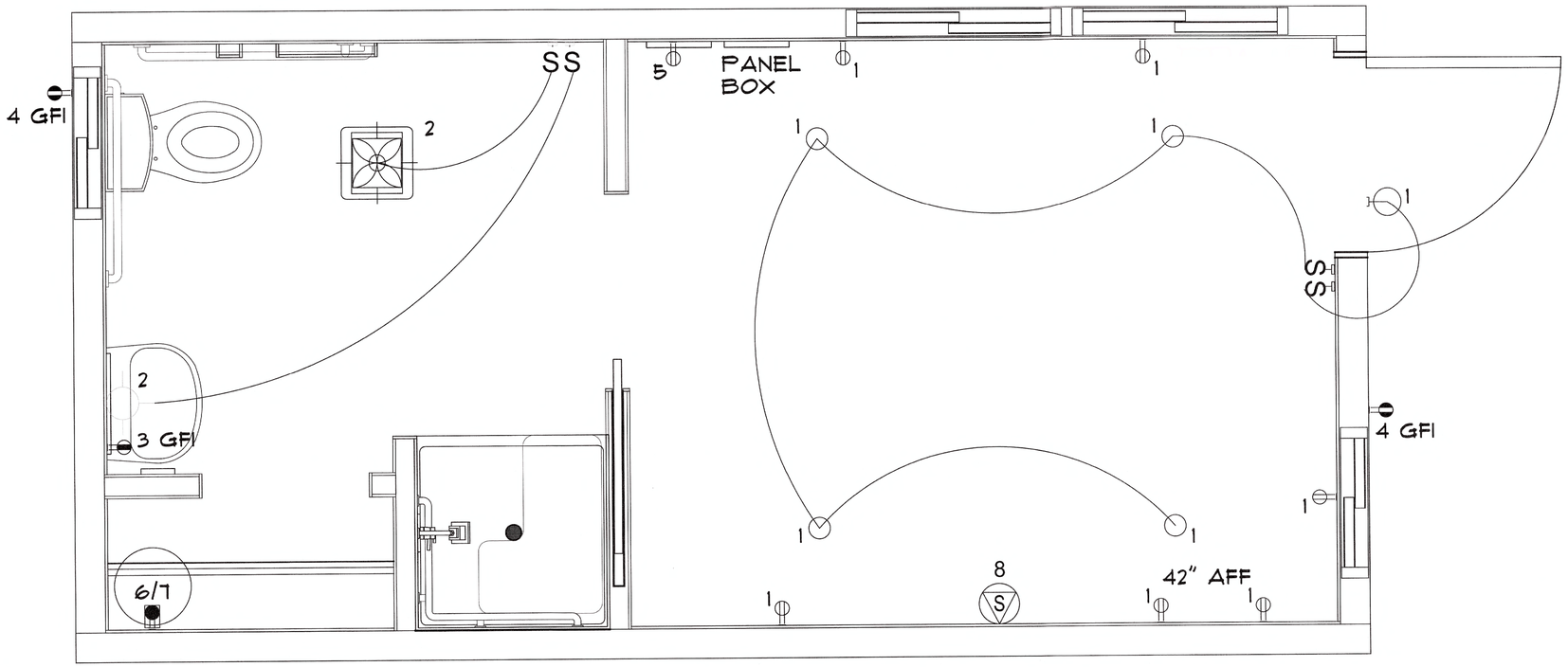
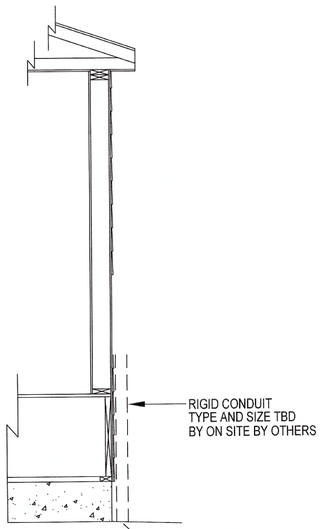
Date Started:
8/11/19

PHILLIP E. ROBBINS
STATE OF WASHINGTON
20032090
REGISTERED
PROFESSIONAL ENGINEER
08/14/2019
EXPIRES 10/15/2019

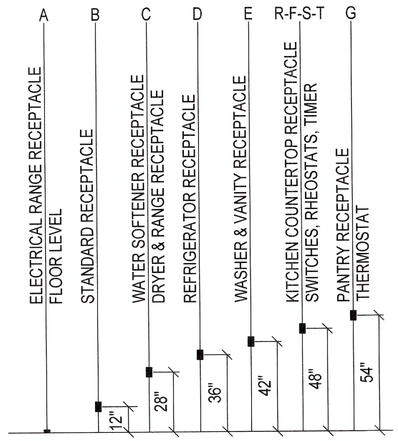



ELECTRICAL SERVICE, METER
LOCATION AND WIRE SIZE TO BE
DETERMINED ON SITE CONTRACTOR.
THEY WILL HAVE IT APPROVED THROUGH
LOCAL CITY/COUNTY BUIDING DEPARTMENTS.

**CIRCUIT CODE**

| CIRCUIT | DESCRIPTION | AMPS | WIRE |
|---|---|---|---|
| 1 | LIGHTS & RECEP LIVING ROOM - ARC FAULT | 20 | 12-2 W/G |
| 2 | LIGHTS BATHROOM - ARC FAULT | 20 | 12-2 W/G |
| 3 | RECEPS - BATH - ARC FAULT | 20 | 12-2 W/G |
| 4 | RECEPS - EXTERIOR - ARC FAULT | 20 | 12-2 W/G |
| 5 | RECEP - WALL HEATER - ARC FAULT | 20 | 12-2 W/G |
| 6/7 | RECEP - WATER HEATER - ARC FAULT | 20 | 12-2 W/G |
| | | | |




## ELECTRICAL LEGEND

- INTERIOR DUPLEX RECEPT
- INTERIOR SINGLE RECEPT
- GFI INTERIOR GROUND FAULT DUPLEX RECEPT
- GFI EXTERIOR GROUND FAULT DUPLEX RECEPT
- EXTERIOR DUPLEX RECEPT
- FLOOR DUPLEX RECEPT
- GFI SOFFIT GROUND FAULT DUPLEX RECEPT
- ELECTRIC RANGE RECEPT
- DRYER RECEPT
- 220 OUTLET
- T THERMOSTAT
- SD SMOKE DETECTOR
- SD SMOKE-CO DETECTOR
- S SWITCH
- S3 3-WAY SWITCH
- R RHEOSTAT
- R3 3-WAY RHEOSTAT
- T TIMER SWITCH
- PANEL BOX
- JACK SYMBOL FOR TV, PH, CA5, WPH
- TV CABLE JACK
- PH PHONE JACK
- CA5 DATA JACK
- WPH WALL PHONE JACK

## ELECTRICAL NOTES

1. ALL 125-VOLT, 15 & 20 AMP RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES.
2. OUTDOOR RECEPTACLES EQUIPPED WITH IN USE WEATHER PROOF COVERS & "EXTRA DUTY" TYPE.
3. ALL RECEPTACLE AND SWITCH LOCATIONS ARE TYPICAL HEIGHT U.N.O.
4. NO AMP CONNECTORS - ALL CONNECTIONS MUST BE MADE IN BOX. (NORTH DAKOTA ONLY)
5. LIGHTS WITH DIMENSIONS WILL BE LOCATED IN DROPPED CEILINGS.
6. EXTERIOR LIGHTS ARE TO BE LISTED FOR WET LOCATIONS.

1 / EP-101 ELECTRICAL PLAN
SCALE: NONE

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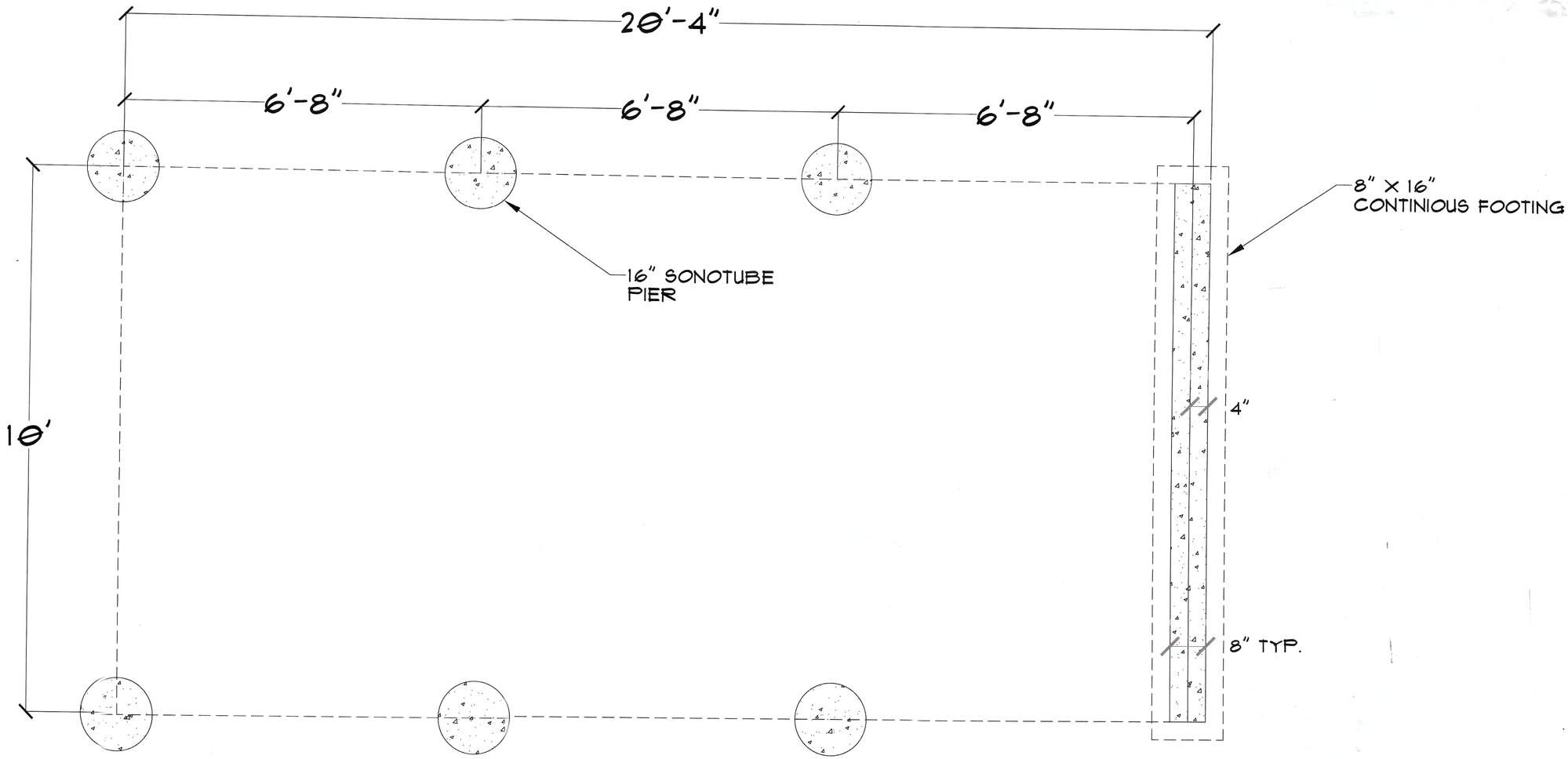
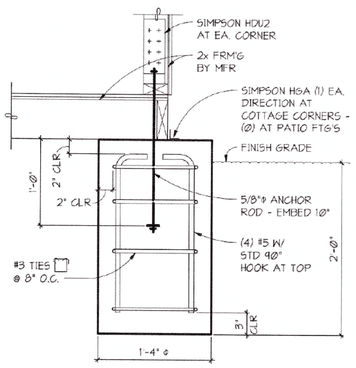
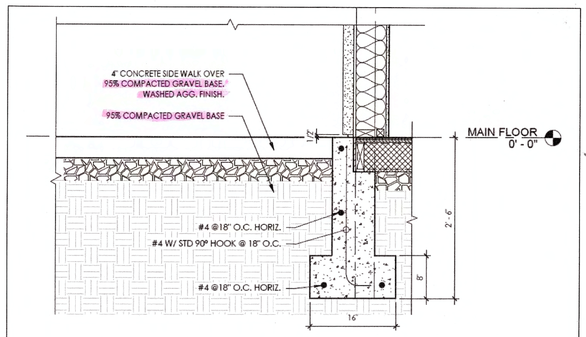
PHILIP E. ROBBINS
STATE OF WASHINGTON
20032050
REGISTERED
PROFESSIONAL ENGINEER
08/4/2019
EXPIRES 10/15/2019




4 A9.21 **FOOTING DETAIL**
1" = 1'-0"




3 A9.21 **WALL/ FOOTING DETAIL**
1" = 1'-0"

THIS IS A GENERAL FOUNDATION LAYOUT. THE SIZES OF FOOTINGS, FOUNDATION WALLS ARE SHOWN TO MEET MIN REQUIREMENTS OF 2015 IBC. IF THERE ARE ANY SPECIAL CONDITIONS THAT NEED TO TO BE MEET PER THE SITE, THE ENGINEER OF RECORED WILL NEED VERIFY THE CHANGES THAT NEED TO ME MADE. THE POINT LOADS AND ANY SPECIAL FOUNDATION STRAPING REQUIRED WILL BE PROVIDED TO THE GENERAL CONTRACTOR BY CARRIAGE HOUSES NORTHWEST ENGINEERING GROUP AS NEEDED.

1 F-101 **FOUNDATION**
SCALE: NONE

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**Veterans Villiage Cottage ADA Home**
**1301 Orting Kapowsin Hwy East**
**Orting, WA 98360**

Date Started:
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PHILLIP E. ROBBINS
STATE OF WASHINGTON
19032
REGISTERED
PROFESSIONAL ENGINEER
08/17/2019
EXPIRES 10/15/2019