

Tacoma Community House

Request for Solar Quote (RFQ)



Issued by Olympia Community Solar

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REQUEST FOR QUOTE FOR INSTALLATION OF A SOLAR PROJECT

Summary

The Tacoma Community House, with the support of Olympia Community Solar, is seeking a quote from a qualified firm to install a solar energy installation in early 2024. Olympia Community Solar is supporting the organization to develop the solar project on the non-profit owned and low income occupied building.

SITE VISIT

Project partners will host a site visit on November 20th at 9am.

SITE ADDRESS

1314 S L St, Tacoma, WA 98405

PROPOSAL SUBMITTAL

Please submit a proposal in PDF form to the points of contact by 5:00pm on December 8th.

BASIC REQUIREMENTS FOR PROPOSING FIRMS

- Must be registered, or indicate that they will register, with the appropriate Business License divisions in the project's County and be in good standing to be considered for this project.
- Must be a general contractor and must hold an active Contractor Registration with Washington State Department of Labor and Industries.
- Must prove and maintain Workers' Compensation and Employer's Liability insurance.

Site Visits	November 20th at 9am
Proposals Due	December 8th by 5:00 PM
Firm Selected	Week of December 11th
Installation Work Start	Q2 2024

PROPOSAL FORMAT AND EVALUATION CRITERIA

Please create project proposals in 8½" x 11" document size using a minimum 12-point font size. Proposals shall not exceed 15 pages, including cover page, cover letter and any appendices and/ or attachments.

I. **Cover letter**

The cover letter shall discuss the highlights, key features and distinguishing points of the Proposal. The cover letter must be prepared and signed by a manager having the authority to make offers and enter into financial agreements on behalf of the firm.

II. **Proposing firm profile**

Detail the proposing firm's size and local organizational structure. Describe the demonstrated experience of the firm in designing and installing commercial solar electric systems. Please note any significant installations by the firm in the project's County.

III. **Qualifications of the project team**

A. Identify key personnel for this project including roles, experience, licenses, and certificates (e.g., NABCEP), with corresponding numbers as appropriate. Key personnel should include at a minimum: Owners/Principals; Project Managers; Designers; Installers.

B. Identify any subcontractors the firm plans to use.

IV. **Business practices**

A. **Work practices:** Address the firm's health and safety record and practices. Identify any communications with the Washington State Department of Labor and Industries and state or federal human rights agencies regarding workplace issues in the last 3 years.

B. **Liability:** Provide information on the level of insurance the firm has and provide copies of certificates.

C. **Workmanship Warranties:** Describe your workmanship warranties.

D. **Wages and Labor Practices:** Provide information about labor practices, including your commitment to providing family wages, benefits, apprenticeships, or mentoring programs.

V. **Work quality**

A. Explain why the products included in the proposal are appropriate for this project.

- B.** Provide descriptions of warranties and support that ensure the long-term durability, operation, and maintenance of PV installations. Please describe any system monitoring capabilities or production gauges included. **Please attach the manufacturer's specification sheets and warranty information for each major piece of equipment.**
- C.** Include a solar production estimate. If the proposal includes modules on multiple different roof orientations, please factor each orientation into your production estimate.

VI. Customer service

- A.** Describe how the firm plans to handle incident reports (trouble, warranty, service calls, and inquiries). Discuss the firm's typical response time on calls, hours of coverage for customer service calls, and process for providing status reports after an incident is logged.
- B.** List any complaints received by the Better Business Bureau or the Washington Attorney General's office over the last 3 years.
- C.** Describe the training the firm provides the host including materials or manuals, customer care books, and/or support for later questions and system performance.

EXHIBIT A

Tacoma Community House

Project Goals: Offset 100% of the building's annual energy costs, or fill available roof space.

Electricity Consumption: The building consumed more than 178,000 kWh over the last calendar year. Billing statement attached below.

Roof Structure: Truss frame with asphalt shingle

Organization Background

Since 1910, Tacoma Community House has promoted social justice and today offers equity-advancing programs through Immigration, Education, Employment, Advocacy, and Housing.

Tacoma Community House is a nationally-respected, community-based service center for immigrants, refugees, and long-time South Sound residents seeking enrichment and pathways to self-sufficiency. For 110 years, we have helped countless individuals gain the skills they need to transition out of poverty, navigate a new culture, and find personal and professional success.

Many people come to us seeking one type of service and end up utilizing others, making us one of Tacoma's most unique "one stop shops." Annually, we provide 3,500 program services to 3,200 individuals from over 115 countries through our four core programs: Immigration, Education, Employment and Advocacy (for crime victims).

Funding Opportunity

Project partners have identified the WSU Low-Income Community Solar program or a Department of Commerce grant as opportunities to fund this project.

Issue date 10/18/23



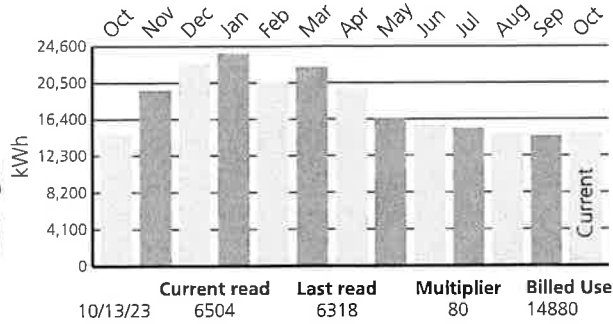
Tacoma Power

Energy 14880@\$.054780/kWh
Demand 47@\$.120000/kW
Fixed charge @\$82.80/month
Evergreen Options 10416@\$.012000/kWh

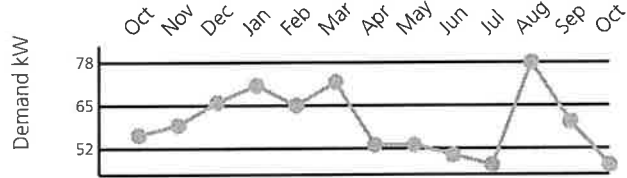
Total

Taxes included in your power service:
Tacoma gross earnings - 7.5% - \$108.87
State Public Utility - 3.8734% - \$56.22

Power Factor: 99.98% | **Demand:** Actual 42, 60% Previous 47, Adjusted 42 | **Billed:** 47
Billed demand is the highest among actual demand, 60% previous demand or adjusted demand.
Adjusted demand is the actual demand adjusted for power factor, 60% previous is 60% of the highest demand during previous 11 months.



Power use
This billing period
14880.00 kWh
Last year
14720.00 kWh
Difference
+160.00 kWh



Tacoma Water

350.344@\$2.430000/ccf
Fixed Charge @\$121.64/month

Total

Taxes included in your water service:
Tacoma gross earnings - 8.0% - \$77.84
State Public Utility - 5.029% - \$48.93

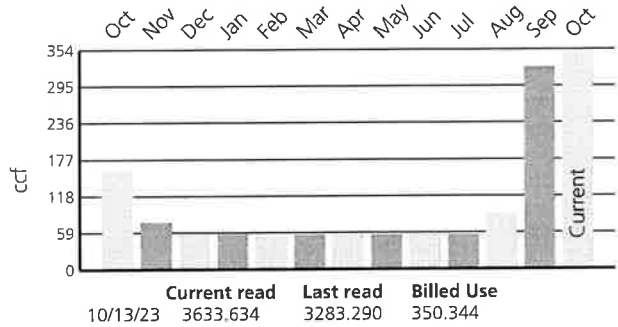
Meter #255012

1314 S L ST

\$851.34

\$121.64

\$972.98



Water use
(1 ccf = 748 gallons)
This billing period
350.344 ccf
Last year
158.439 ccf
Difference
+191.905 ccf



Wastewater

61.544@\$8.460000/ccf
Fixed charge @\$15.46/month

Total

1314 S L ST

\$520.66

\$15.46

\$536.12

These taxes may be included in your wastewater service:
State B&O - 1.75%
Tacoma gross earnings - 8.0%
State sewer collection - 3.852%

Payments

Payment 9/23/23

How to make a payment



Online | MyTPU.org/MyAccount



Pay Box | 2 at TPU | 3628 S. 35th St.
Find other locations at MyTPU.org/PayBox



Phone | (253) 502-8608
24 hours a day, 7 days a week



Mail
P.O. Box 11010 | Tacoma, WA 98411-1010



In Person | 3628 S. 35th St. | Tacoma, WA 98409
Monday through Friday, 8 a.m. to 5:30 p.m.

Your bill includes charges for electricity, delivery services, general administration and overhead, metering, taxes, conservation expenses, and other items.

Want to learn more about green power? Visit MyTPU.org.

Has your phone number or email address changed?

Update your information at MyTPU.org/MyAccount.



BCRA

T: 253.627.4387 F: 253.627.4386 WWW.BCRADESIGN.COM
216 PACIFIC AVENUE, SUITE 300, TACOMA, WA 98402

SEA

PROJECT
TACOMA COMMUNITY HOUSE
NEW BUILDING REPLACEMENT
1314 SOUTH L STREET
TACOMA, WA 98405

REVISIONS
1 PERMIT RESPONSE 1 9.21.2017

DATE
8.10.2018

BCRA NO.
16135

DRAWN BY
REVIEWED BY

LIFE SAFETY PLANS



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SHEET

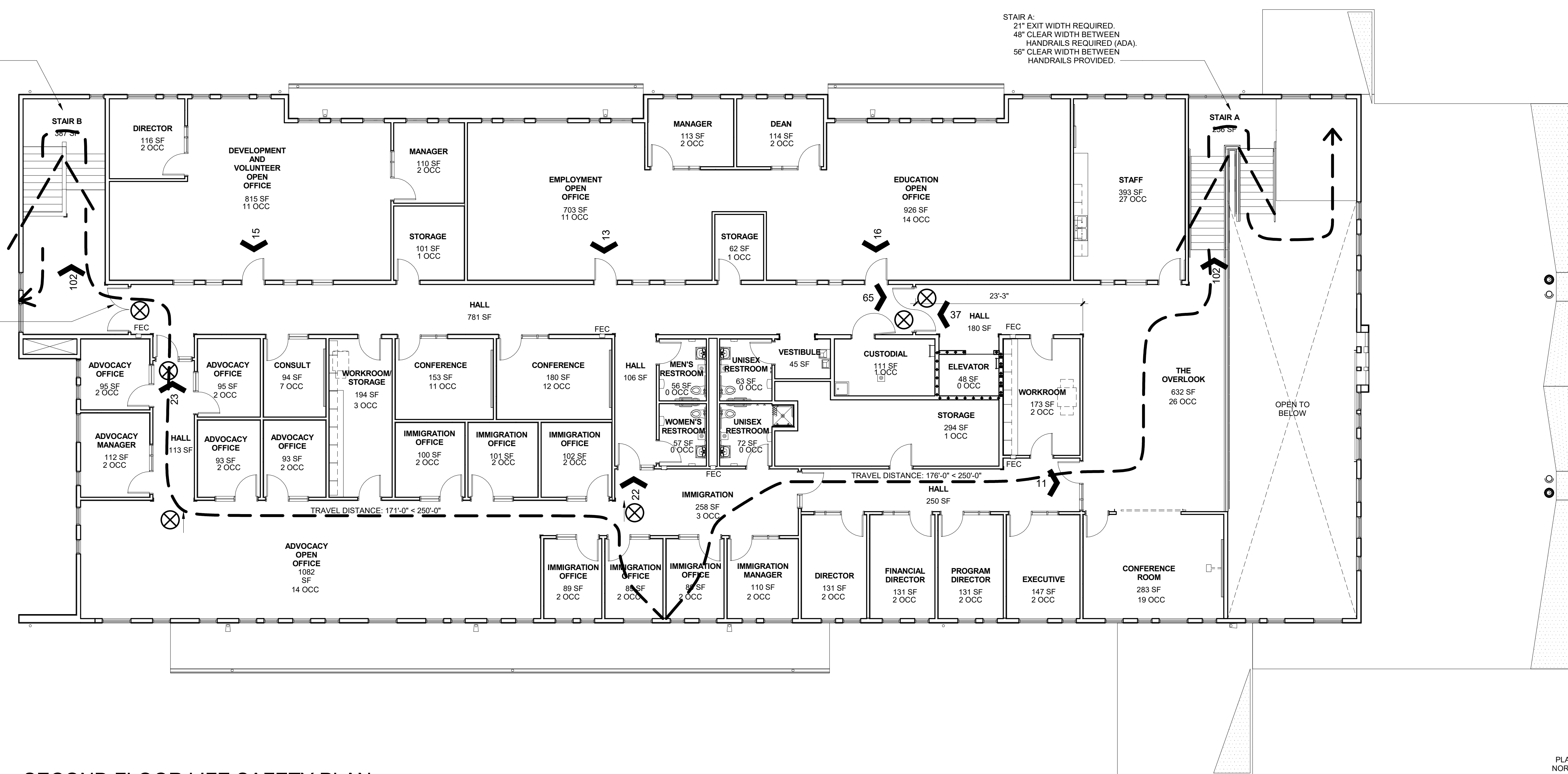
G2.01

CONFORMED
DOCUMENTS

STAIR B:
20" EXIT WIDTH REQUIRED.
48" CLEAR WIDTH BETWEEN
HANDRAILS REQUIRED (ADA).
60" PROVIDED.

DOOR 250:
20" EXIT WIDTH REQUIRED.
32" CLEAR WIDTH REQUIRED (ADA).
66" PROVIDED.

STAIR A:
21" EXIT WIDTH REQUIRED.
48" CLEAR WIDTH BETWEEN
HANDRAILS REQUIRED (ADA).
56" CLEAR WIDTH BETWEEN
HANDRAILS PROVIDED.



② SECOND FLOOR LIFE SAFETY PLAN
1/8" = 1'-0"



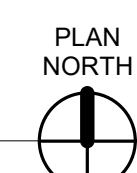
DOOR 151-A:
36" EXIT WIDTH REQUIRED.
32" CLEAR WIDTH REQUIRED (ADA).
66" PROVIDED.

DOOR 140-B:
1" EXIT WIDTH REQUIRED.
32" CLEAR WIDTH REQUIRED (ADA).
33" PROVIDED.

DOOR 120:
16" EXIT WIDTH REQUIRED.
32" CLEAR WIDTH REQUIRED (ADA).
33" PROVIDED.

DOOR 105-A:
28" EXIT WIDTH REQUIRED.
32" CLEAR WIDTH REQUIRED (ADA).
66" PROVIDED.

0 4 8 16
SCALE: 1/8" = 1'-0"



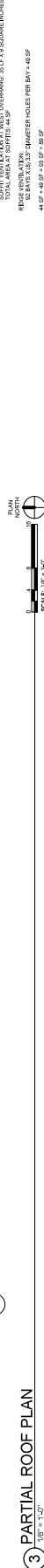
LIFE SAFETY PLANS LEGEND

REFER TO A4.01 FOR RATED WALL CONSTRUCTION

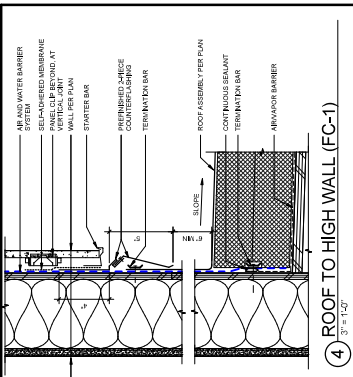
- 1-HOUR RATED WALL
- 1-HOUR RATED ACOUSTIC WALL
- FIRE EXTINGUISHER WITH CABINET
- FIRE EXTINGUISHER WITH BRACKET
- NUMBER OF OCCUPANTS EXITING
- EXIT LIGHT - REFER ALSO TO ELECTRICAL
- TRAVEL DISTANCE PATH

① FIRST FLOOR LIFE SAFETY PLAN
1/8" = 1'-0"

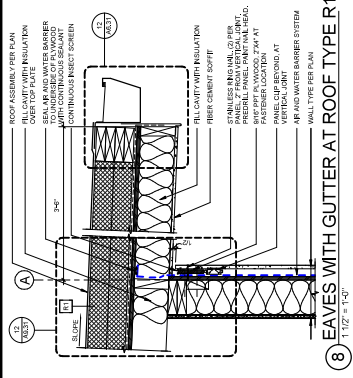
IF SHEET MEASURES LESS THAN 30"x42", IT IS A REDUCED PRINT. REDUCE SCALE ACCORDINGLY

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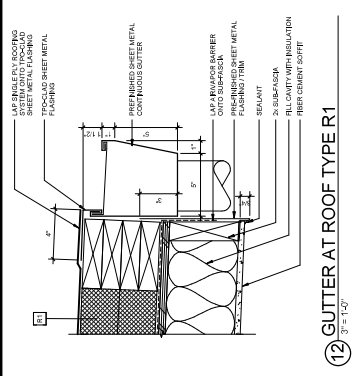
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17	REVISION	11/20/17



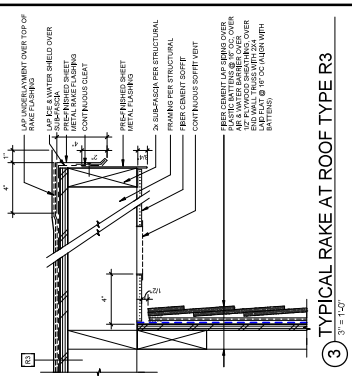
4 ROOF TO HIGH WALL (FC-1)
12:12



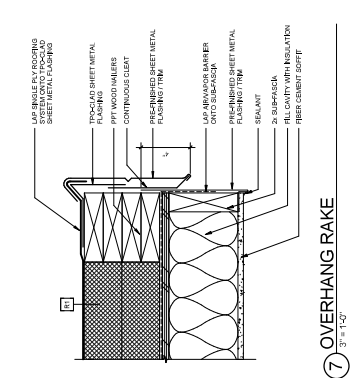
8 EAVES WITH GUTTER AT ROOF TYPE R1
12:12



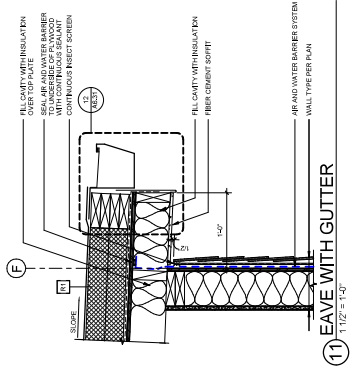
12 GUTTER AT ROOF TYPE R1
12:12



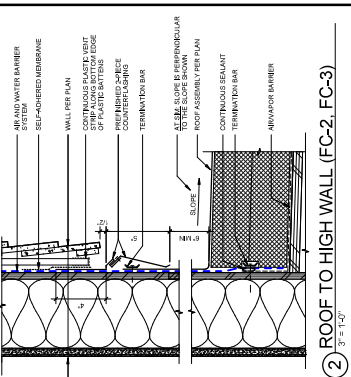
3 TYPICAL RAKE AT ROOF TYPE R3
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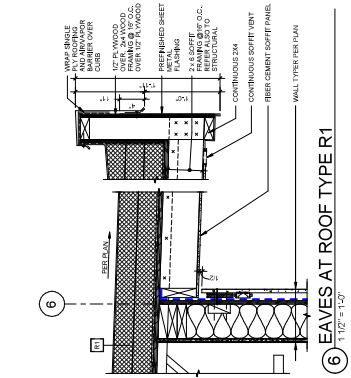
7 OVERHANG RAKE
12:12



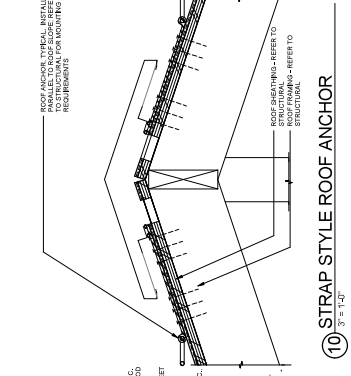
11 EAVE WITH GUTTER
12:12



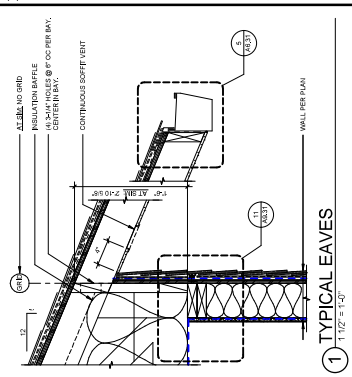
2 ROOF TO HIGH WALL (FC-2, FC-3)
12:12



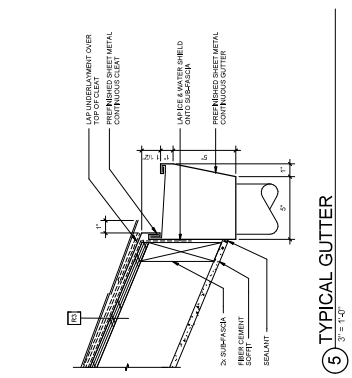
6 EAVES AT ROOF TYPE R1
12:12



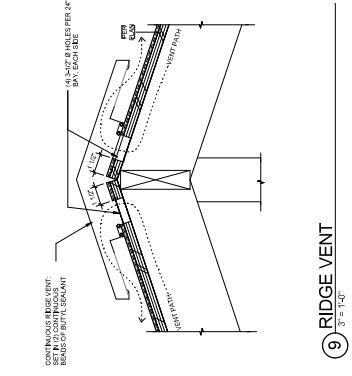
10 STRAP STYLE ROOF ANCHOR
12:12



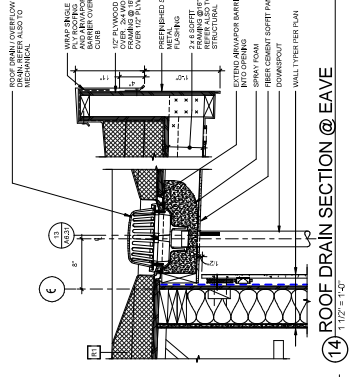
1 TYPICAL EAVES
12:12



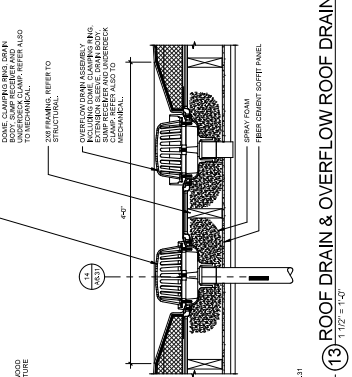
5 TYPICAL GUTTER
12:12



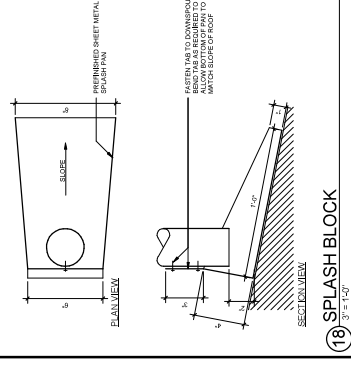
9 RIDGE VENT
12:12



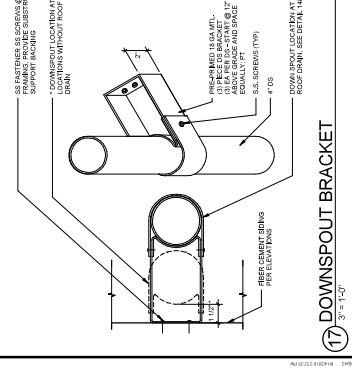
14 ROOF DRAIN SECTION @ EAVE
12:12



13 ROOF DRAIN & OVERFLOW ROOF DRAIN
12:12



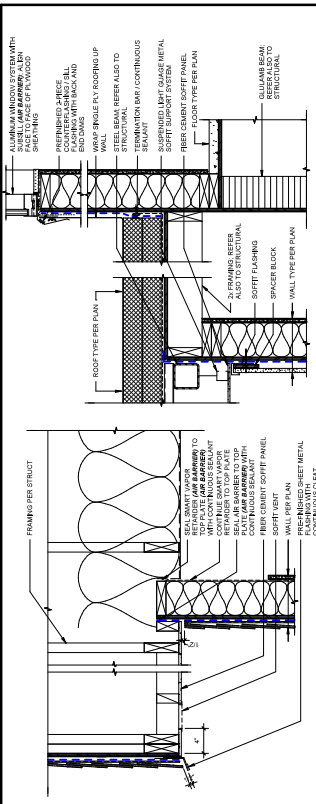
18 SPLASH BLOCK
12:12



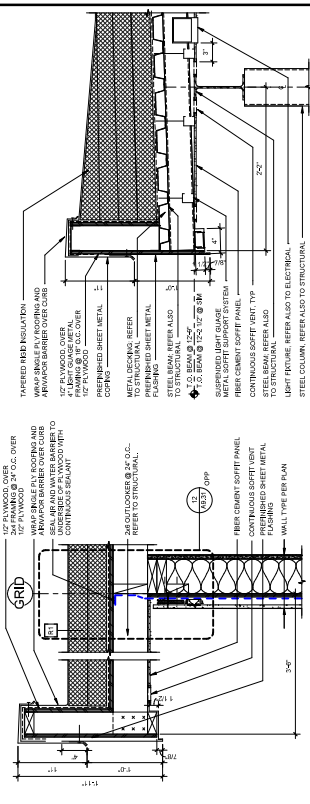
17 DOWNSPOUT BRACKET
12:12

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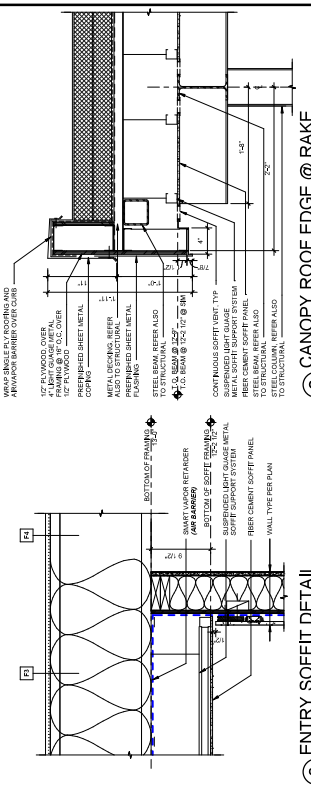
ROOF DETAILS
CANOPY DETAILS



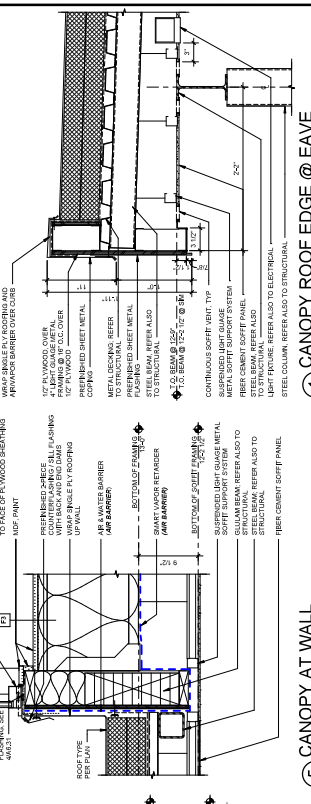
4 CANOPY ROOF EDGE @ VESTIBULE
1 1/2" = 1'-0"



3 CANOPY ROOF EDGE @ EAVE
1 1/2" = 1'-0"



2 CANOPY ROOF EDGE @ RAKE
1 1/2" = 1'-0"



1 CANOPY ROOF EDGE @ EAVE
1 1/2" = 1'-0"



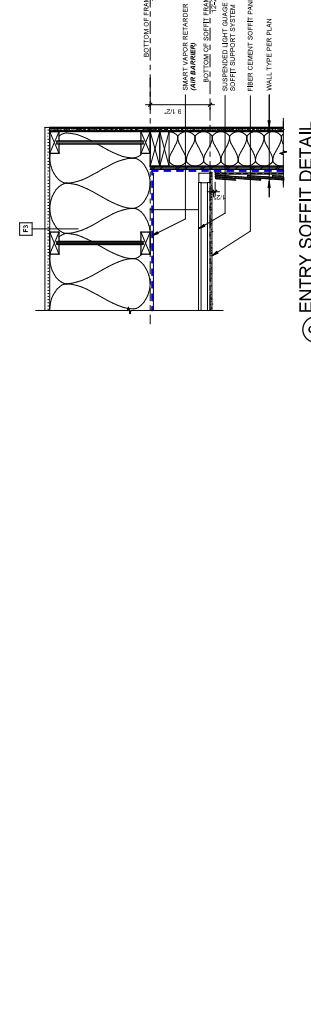
8 SOFFIT AT EXTERIOR WALL
1 1/2" = 1'-0"



7 RAKE AT ROOF TYPE R1
1 1/2" = 1'-0"

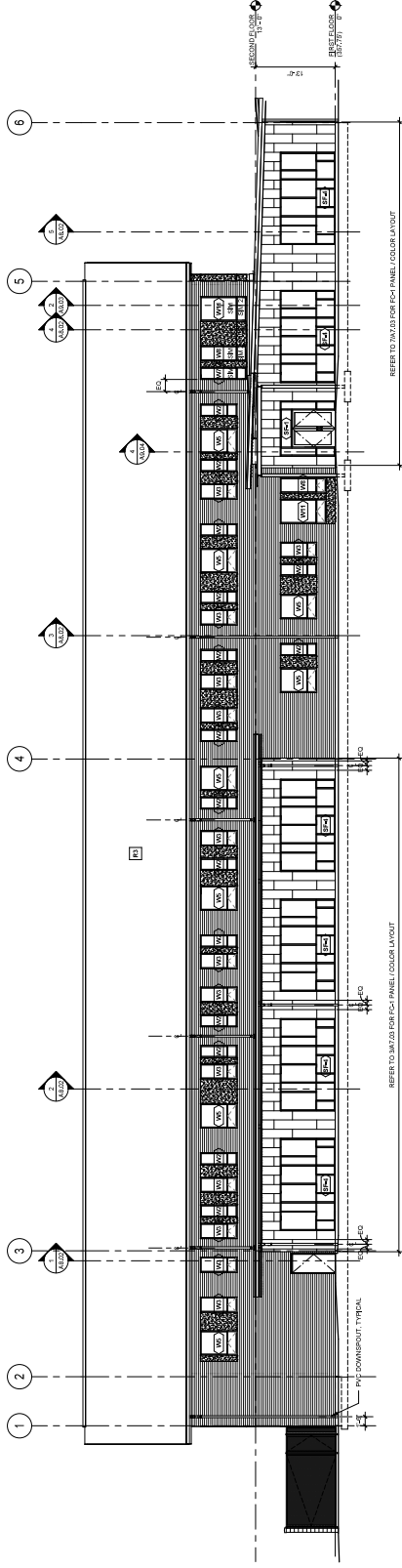


6 ENTRY SOFFIT DETAIL
1 1/2" = 1'-0"



9 ENTRY SOFFIT DETAIL
1 1/2" = 1'-0"

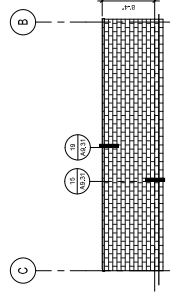
8 EXTERIOR ELEVATION - SOUTH
1/8" = 1'-0"



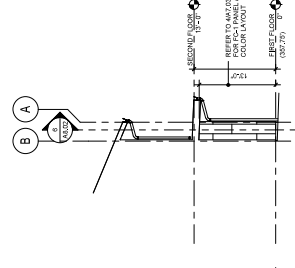
EXTERIOR FINISH SCHEDULE

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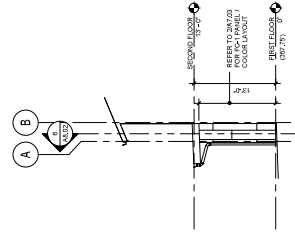
7 EXTERIOR ELEVATION - WEST
1/8" = 1'-0"



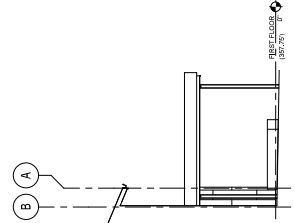
⑥ EXTE
 $1/8'' = 1'-0''$



5 EXTEND $1/8" = 1'-0"$

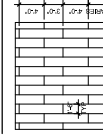


④ EXT
1/8" = 1'-0"



4 EXTERIOR ELEVATION - WEST
1/8" = 1'-0"

EXTERIOR ELEVATION LEGEND

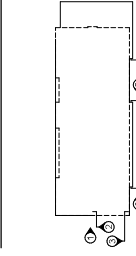


4. REFRIGERANT LIFT BEING (FCO), PINT
REFER TO M331 FOR TYPICAL INSECT CORNER TRANSITIONS
REFER TO M331 FOR TYPICAL VERTICAL TRANSITIONS
REFER TO M331 FOR TYPICAL HORIZONTAL TRANSITIONS
REFER TO M331 AND M332 FOR TYPICAL DOOR WALL PENETRATIONS
REFER TO M331 AND M332 FOR TYPICAL DOOR WALL PENETRATIONS

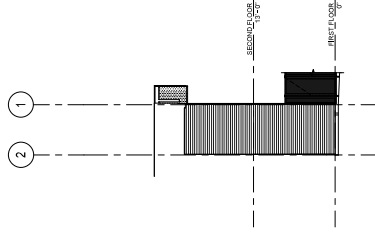
4. REFRIGERANT PANEL BEING (FCO), PINT
REFER TO M331 FOR TYPICAL INSECT CORNER TRANSITIONS
REFER TO M331 FOR TYPICAL VERTICAL TRANSITIONS
REFER TO M331 FOR TYPICAL HORIZONTAL TRANSITIONS
REFER TO M331 AND M332 FOR TYPICAL DOOR WALL PENETRATIONS
REFER TO M331 AND M332 FOR TYPICAL DOOR WALL PENETRATIONS

ALUMINUM WINDOW, REFER TO A31
STANDARD WINDOW ENTRY SYSTEM, REFER TO A31

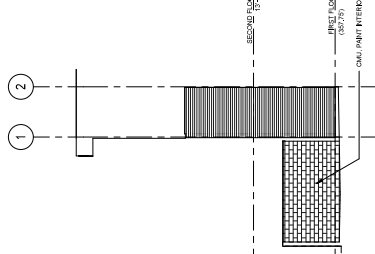
KEY PLANS



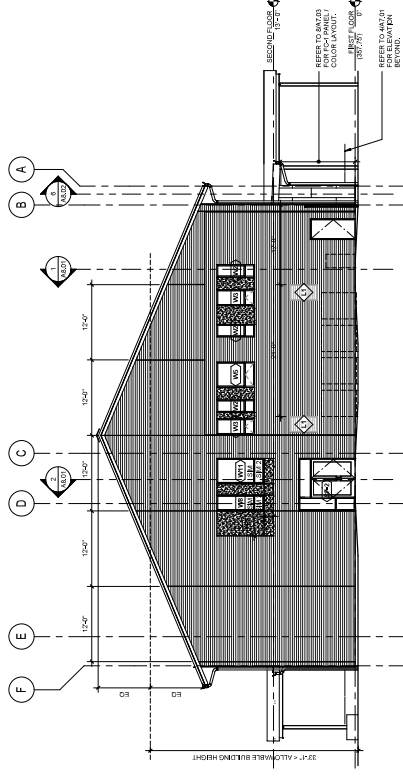
3 EXT. ELEVATION - NORTH
1/8" = 1'-0"

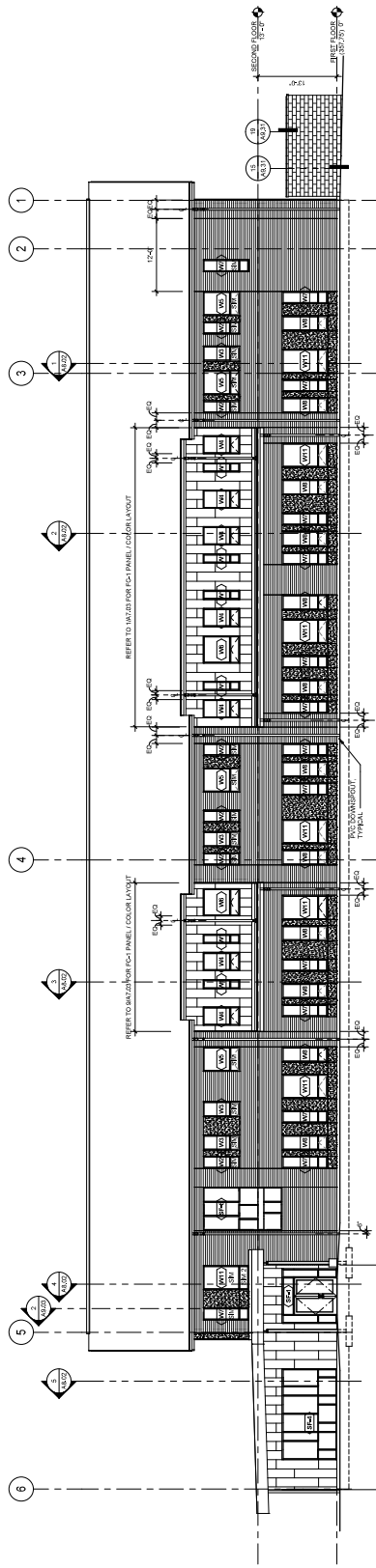


2 EXT. ELEVATION - SOUTH
1/8" = 1'-0"



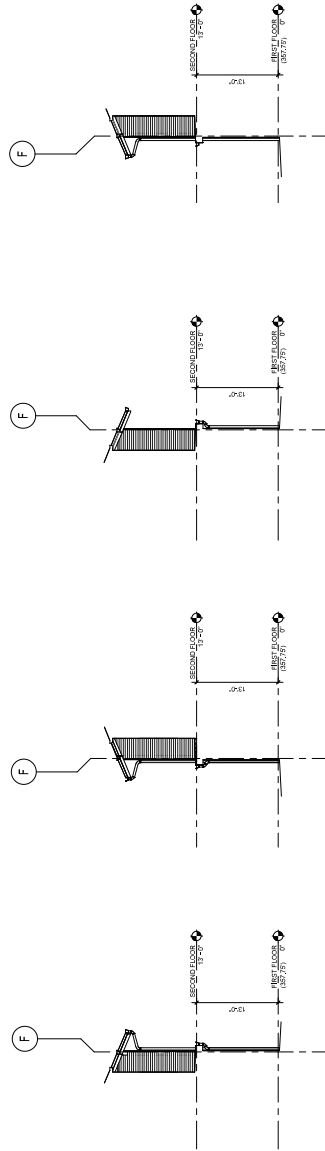
1 EXTERIOR ELEVATION - WEST $1/8" = 1'-0"$





6 EXTERIOR ELEVATION - NORTH
1/8" = 1'-0"

EXTERIOR FINISH SCHEDULE				
ITEM	MATERIAL	FINISH	REMARKS	COLOR
CONCRETE	WASH	WASH		
WOOD	PAINT	PAINT		
BRICK	PAINT	PAINT		
ROOF	PAINT	PAINT		
ROOF	PAINT	PAINT		
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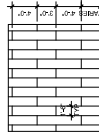


5 EXTERIOR ELEVATION - EAST
1/8" = 1'-0"

4 EXTERIOR ELEVATION - WEST $1/8" = 1'-0"$

3 EXTERIOR ELEVATION - EAST
1/8" = 1'-0"

2 EXTERIOR ELEVATION - WEST
1/8" = 1'-0"



FIBER CEMENT LAP SLAB (POOL PAINT)
 4" EXPOSED LAP SLAB (POOL PAINT)
 REFER TO 04A31 FOR TYPICAL INSECT CORNER TRANSITIONS
 REFER TO 04A31 FOR TYPICAL INSECT WALL TRANSITIONS
 REFER TO 04A31 FOR TYPICAL UTILITY TRANSITIONS
 REFER TO 04A31 FOR TYPICAL VERTICAL TRANSITIONS
 REFER TO 04A31 FOR TYPICAL HORIZONTAL TRANSITIONS
 REFER TO 04A31 AND 04A31.3 FOR TYPICAL DEVICE WALL PENETRATIONS

FIBER CEMENT PANEL SLAB (POOL PAINT)
 4" EXPOSED LAP SLAB (POOL PAINT)
 REFER TO 04A31 FOR TYPICAL INSECT CORNER TRANSITIONS
 REFER TO 04A31 FOR TYPICAL UTILITY TRANSITIONS
 REFER TO 04A31 FOR TYPICAL VERTICAL TRANSITIONS
 REFER TO 04A31 FOR TYPICAL HORIZONTAL TRANSITIONS
 REFER TO 04A31 AND 04A31.3 FOR TYPICAL DEVICE WALL PENETRATIONS

ALUMINUM WINDOW, REFER TO 04A51
 REFER TO 04A51

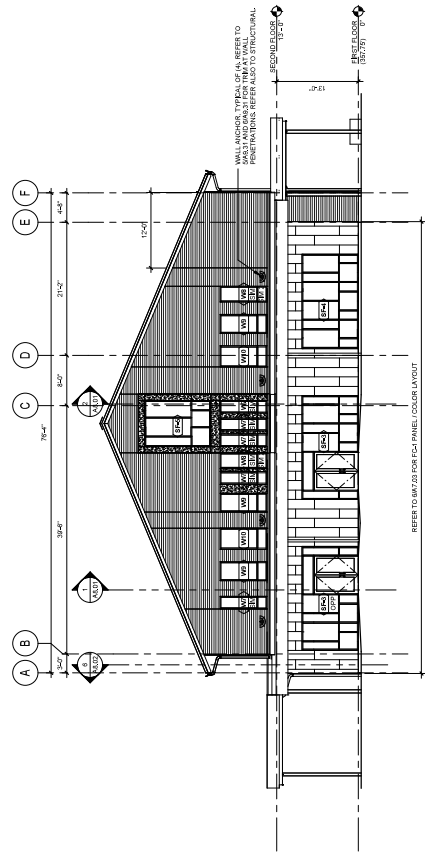
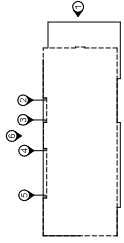
STORM/DOOR WINDOW ENTRY SYSTEM, REFER TO A2.02

STOREFRONT WINDOW / ENTRY SYSTEM. REFER TO A3.5.1

METAL WASTE OILY WASTE REFUSE TO A352

LIGHT FIXTURE, REFER ALSO TO ELECTRICAL, PLACE BOTTOM OF FIXTURE AT 6'-8" AFF.

KEY POINTS



1 EXTERIOR ELEVATION - EAST
1/8" = 1'-0"